

LOCATION MAP



INDEX OF SHEETS

- T1 PROJECT TITLE, LOCATION, INDEX OF SHEETS
- D1 DEMO FLOOR PLAN

- A1 BASEMENT FLOOR PLAN, UNIT COST ALLOWANCE CHART
- A2 FIRST FLOOR PLAN, INTERIOR ELEVATIONS
- A3 SECOND FLOOR PLAN
- A4 HOUSE ELEVATIONS
- A5 GARAGE ELEVATIONS

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MILLER TAYLOR HOUSE RENOVATION

COUNTY OF WILL EXECUTIVE OFFICE
 SAO RECOVERY HOME
 311 LIME STREET
 JOLIET, ILLINOIS

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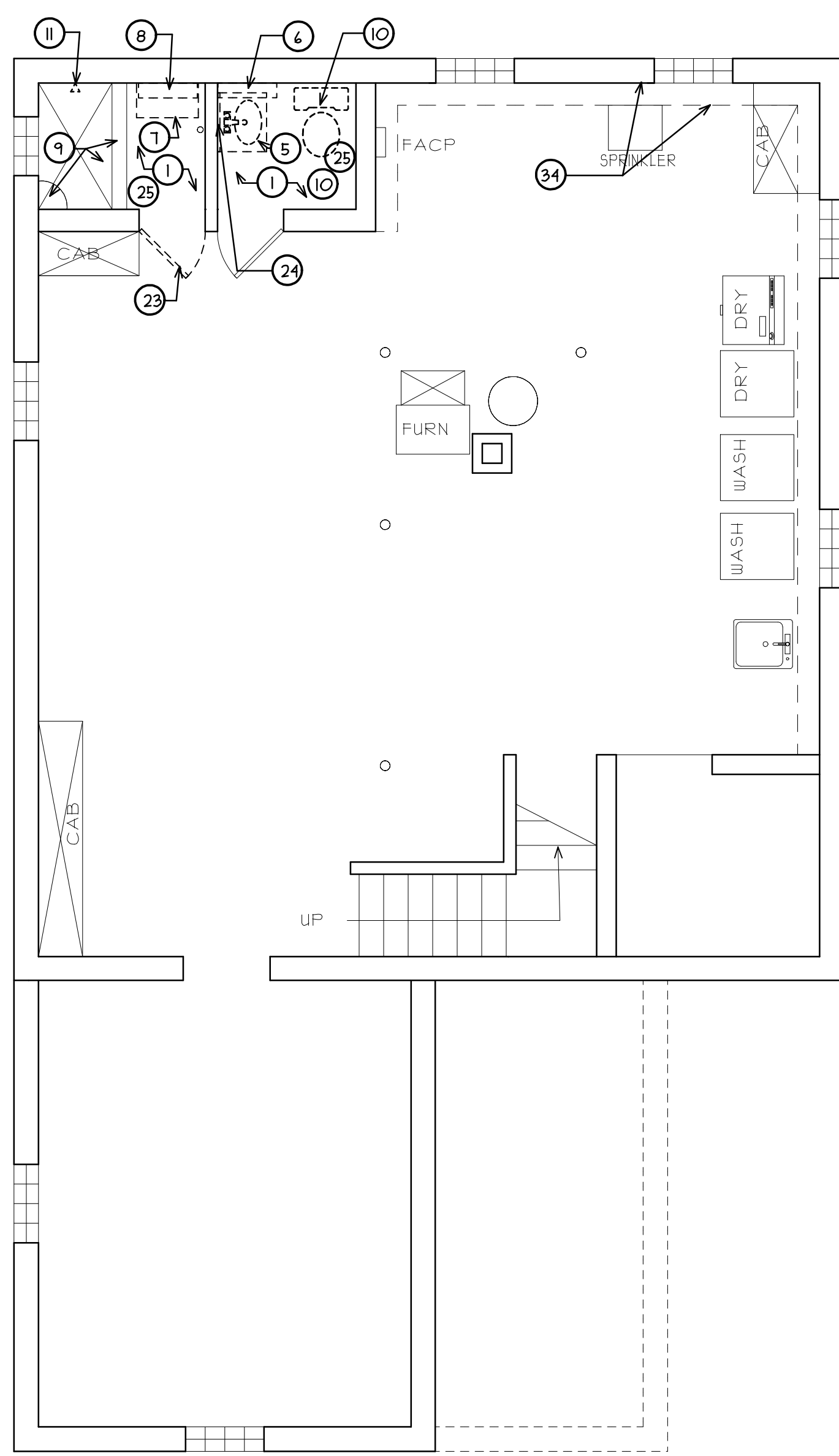
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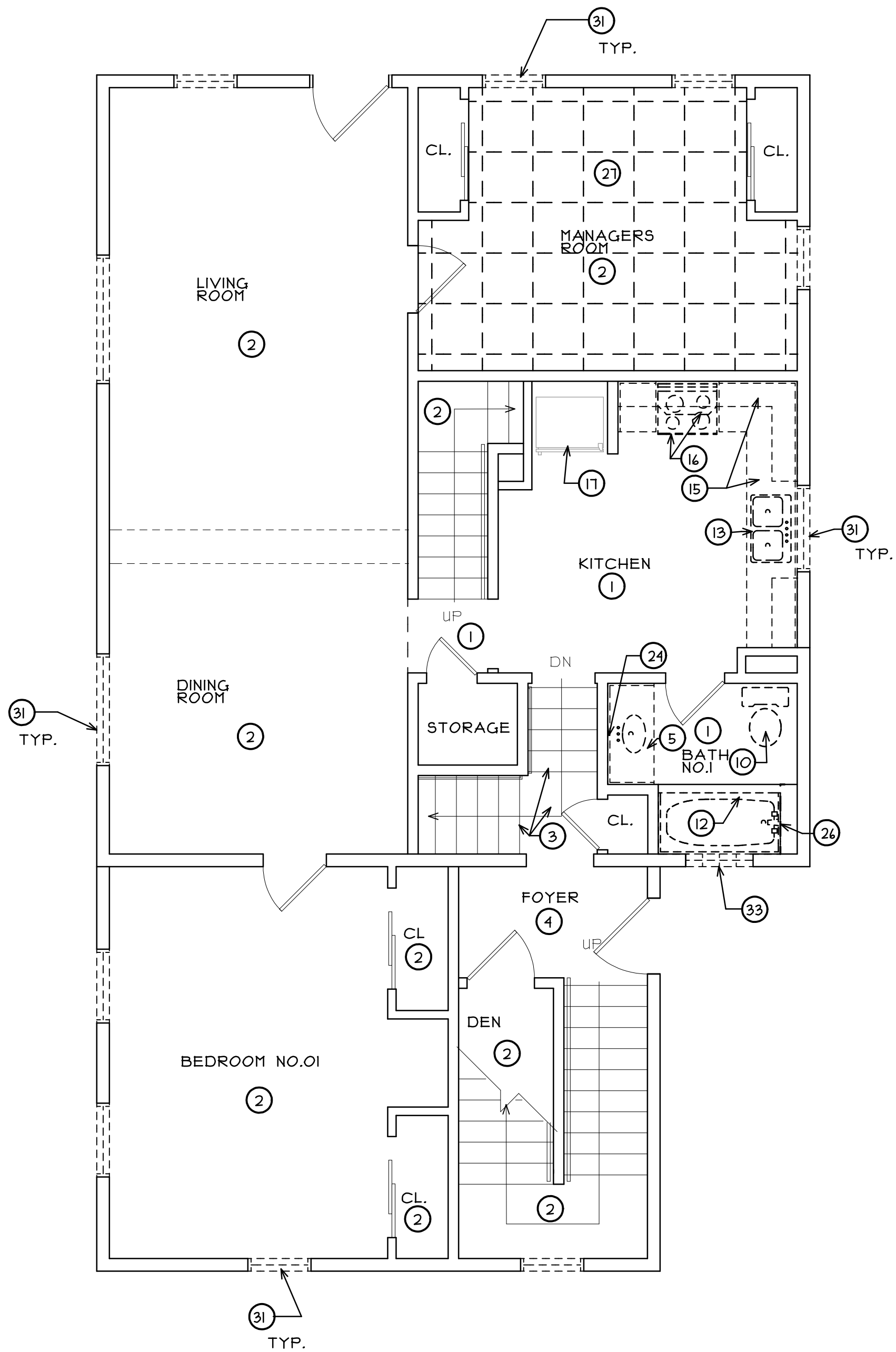
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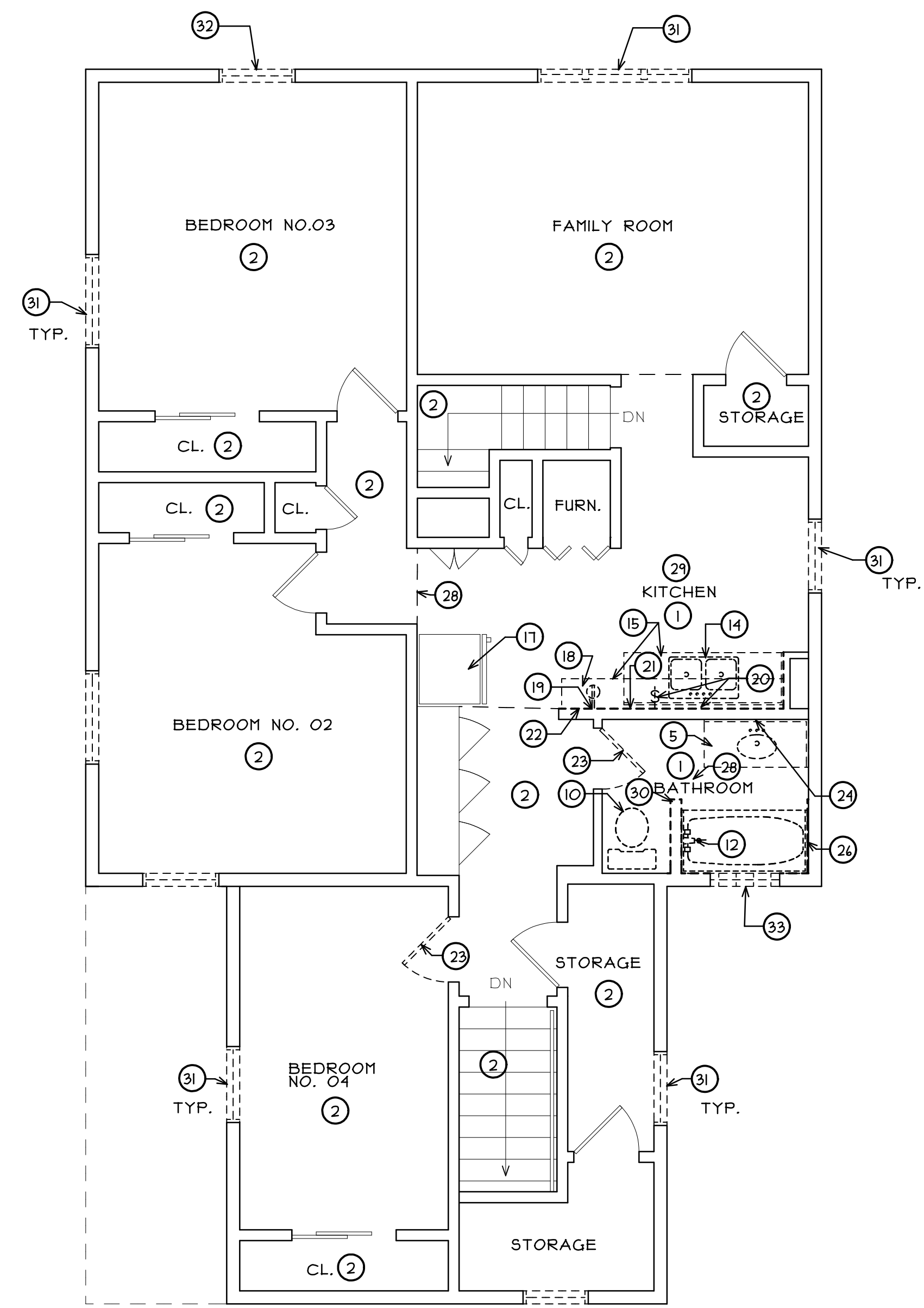
OF 1 SHEETS



DEMO BASEMENT PLAN
SCALE: 1/4" = 1'-0"
NORTH



DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH



DEMO SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

DEMO GENERAL NOTES

- A. ALL EXISTING DOOR LEVER SETS TO BE REMOVED. (TYPICAL)
- B. COORDINATE WITH OWNER PROVIDED NEW LIGHT FIXTURES FOR EXTENT OF EXISTING FIXTURES TO BE REMOVED AND REPLACED WITH NEW.
- C. EXISTING FIRE ALARM SYSTEM TO REMAIN. PROVIDE PROTECTION DURING CONSTRUCTION.
- D. EXISTING BUILDING SPRINKLER SYSTEM AND PROTECTION COVERS TO REMAIN. PROVIDE PROTECTION DURING CONSTRUCTION. (V.I.F.)
- E. ALL EXISTING PANELING TO REMAIN. SHOULD BE CLEANED AND PREPPED FOR NEW PAINT FINISH. (V.I.F.)
- F. ALL EXISTING EXTERIOR VINYL SIDING AND ASSOCIATED TRIM TO BE REMOVED ON HOUSE AND DETACHED GARAGE. SEE ELEVATIONS ON SHEET A4 AND A5.
- G. ALL ITEMS REMOVED AND NOT SALVAGED SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- H. ALL ELECTRICAL SWITCHES, OUTLET DEVICES AND COVER PLATES TO BE REMOVED AND REPLACE IN ENTIRE HOUSE INTERIOR ONLY (BASEMENT, FIRST FLOOR AND SECOND FLOOR). (V.I.F.)
- I. ALL HVAC RETURN GRILLES ON FIRST FLOOR TO BE REMOVED.
- J. ALL HVAC SUPPLY DIFFUSERS AND RETURN GRILLES ON SECOND FLOOR TO BE CLEANED, PAINTED AND REINSTALLED. (V.I.F.)
- K. ALL EXISTING WINDOW TREATMENTS ON FIRST AND SECTION FLOOR TO BE REMOVED. (V.I.F.)

DEMO KEY NOTES

- ① EXISTING VCT FLOOR TILE TO BE REMOVED AND PREP FLOOR SURFACE FOR NEW FLOOR FINISH. (V.I.F.)
- ② EXISTING CARPET PADDING, TACK STRIPS AND STAPLES TO BE COMPLETELY REMOVED. PREP FLOOR SURFACE FOR NEW FLOOR FINISH. (V.I.F.)
- ③ EXISTING VCT TILE FLOORING AND METAL NOSING STRIPS TO BE REMOVED ON STAIRS AND LANDING. PREP SURFACE FOR NEW FLOOR FINISH. (V.I.F.)
- ④ EXISTING VCT TILE FLOORING TO BE REMOVED AND PREP FLOOR FOR NEW FLOOR FINISH.
- ⑤ EXISTING LAVATORY CABINET, SINK AND DRAIN TRIM TO BE REMOVED. EXISTING PLUMBING TO REMAIN FOR REUSE. (U.N.O.)
- ⑥ EXISTING WALL HUNG CABINET TO BE REMOVED.
- ⑦ EXISTING BENCH AND BRACKETS TO BE REMOVED. (V.I.F.)
- ⑧ EXISTING WALL HUNG SHELF AND HOOKS TO BE REMOVED.
- ⑨ EXISTING CONCRETE SHOWER BASE TO REMAIN. EXISTING LOOSE PAINT TO BE REMOVED AND PREP FOR NEW FINISH. (V.I.F.)
- ⑩ EXISTING TOILET TO BE REMOVED. PLUMBING TO REMAIN FOR REUSE.
- ⑪ EXISTING SHOWER FIXTURE TO BE REMOVED. EXISTING PLUMBING TO BE MODIFIED FOR NEW FIXTURE.
- ⑫ EXISTING TUB/ SHOWER UNIT TO BE COMPLETELY REMOVED. EXISTING FAUCET TO BE REMOVED AND EXISTING PLUMBING TO REMAIN FOR REUSE. (V.I.F.) WALL TILE MOUNTED ACCESSORIES AND TILE BACKER TO BE REMOVED BY OWNERS ABATEMENT CONTRACTOR.
- ⑬ EXISTING DROP IN STAINLESS STEEL SINK, FAUCET AND SANITARY TRIM KIT TO BE REMOVED. EXISTING PLUMBING TO REMAIN FOR REUSE.
- ⑭ EXISTING DROP IN STAINLESS STEEL SINK AND FAUCET TO BE REMOVED. EXISTING PLUMBING TO BE REMOVED BACK TO MAIN AND CAPPED IN WALL. (V.I.F.)
- ⑮ EXISTING KITCHEN COUNTERTOP, BASE AND WALL CABINETS TO BE REMOVED.
- ⑯ EXISTING RANGE AND MICROWAVE TO BE REMOVED.
- ⑰ EXISTING REFRIGERATOR TO REMAIN. PROVIDE PROTECTION DURING CONSTRUCTION.
- ⑱ EXISTING WALL HUNG MICROWAVE TO BE REMOVED.
- ⑲ EXISTING MICROWAVE OUTLET TO BE REMOVED AND PROPERLY TERMINATED AFTER TILE AND GYPSUM IS REMOVED. (V.I.F.)
- ⑳ EXISTING UNDER CABINET LIGHT FIXTURE AND SWITCH TO BE REMOVED. WIRING TO BE PROPERLY TERMINATED.
- ㉑ EXISTING TILE BACK SPLASH AND FULL HEIGHT GYPSUM BOARD TO BE REMOVED BY OWNERS ABATEMENT CONTRACTOR. BACK TO EXISTING STUDS TO REMAIN.
- ㉒ EXISTING GAS LINE TO BE REMOVED AND PROPERLY TERMINATED BACK AT MAIN LINE BELOW FLOOR.
- ㉓ EXISTING DOOR TO BE REMOVED. EXISTING DOOR FRAME AND HINGES TO REMAIN.
- ㉔ EXISTING WALL MOUNTED MIRROR TO BE REMOVED. (V.I.F.)
- ㉕ EXISTING GYPSUM BOARD CEILING PANELS TO BE REMOVED. (V.I.F.)
- ㉖ EXISTING GYPSUM BOARD OR TILE BACKER TO BE REMOVED BY OWNERS ABATEMENT CONTRACTOR AND PLUMBING CHASE STUD WALL TO BE MODIFIED FOR NEW LARGER TUB.
- ㉗ EXISTING ACOUSTIC CEILING AND GRID TO BE REMOVED. (V.I.F.)
- ㉘ EXISTING DAMAGED UNDERLAYMENT/ SUB FLOOR TO BE REMOVED BACK TO SOLID MATERIAL AND PATCH BACK IN WITH NEW "LIKE MATERIAL". (V.I.F.)
- ㉙ EXISTING WOOD WALL BASE TO BE REMOVED IN THIS ROOM.
- ㉚ EXISTING GYPSUM BOARD ON PLUMBING WALL TO BE REMOVED BY OWNERS ABATEMENT CONTRACTOR AND WOOD STUDS TO BE REMOVED AND RELOCATED BY CONTRACTOR TO GIVE MORE CLEARANCE TO SHOWER. (V.I.F.)
- ㉛ EXISTING WINDOW TO BE COMPLETELY REMOVED AND PREP EXISTING ROUGH OPENING FOR NEW WINDOW. EXISTING INTERIOR TRIM TO REMAIN. EXISTING ROUGH OPENING TO REMAIN. (U.N.O.) (V.I.F.)
- ㉜ EXISTING WINDOW TO BE COMPLETELY REMOVED AND EXISTING ROUGH OPENING TO BE MODIFIED FOR NEW LARGER WINDOW. (V.I.F.)
- ㉝ EXISTING GLASS BLOCK WINDOW TO BE REMOVED. (V.I.F.)
- ㉞ EXISTING LOOSE PAINT ON CMU BLOCK AND CONCRETE FOUNDATION WALL TO BE REMOVED BACK TO STABLE FINISH. (V.I.F.)

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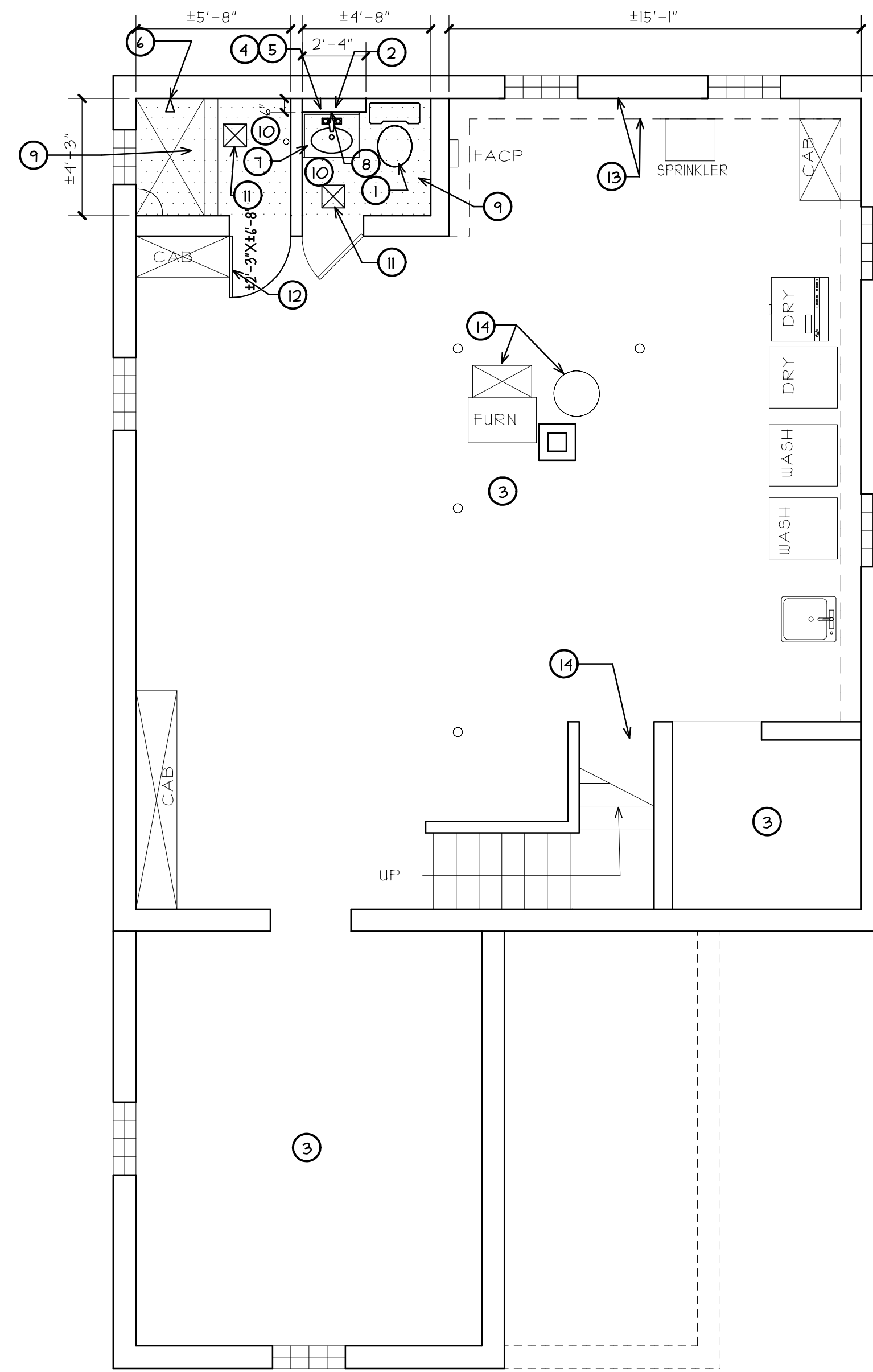
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D1

OF 1 SHEETS



BASEMENT PLAN
SCALE: 1/4" = 1'-0"
NORTH

FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN (TYPICAL)
- EXISTING DOOR & FRAME TO REMAIN (TYPICAL)
- ALL CHANGES IN FLOOR FINISH MATERIAL OR COLOR ARE TO OCCUR UNDER CENTER OF DOOR OR AT LOCATIONS INDICATED. PROVIDE NEW TRANSITION STRIP AT MATERIAL CHANGE LOCATIONS.

FLOOR PLAN GENERAL NOTES

- A. PATCH & REPAIR ALL EXISTING GYPSUM BOARD SURFACES TO "LIKE NEW" CONDITION PRIOR TO INSTALLING NEW FINISHES (V.I.F.)
- B. NEW WOOD TRIM OR DOORS TO BE STAINED TO MATCH EXISTING. (V.I.F.)
- C. PROVIDE NEW PASSAGE LEVER SETS (SCHLAGE ACCENT OR APPROVED EQUAL) IN ALL NEW AND EXISTING DOORS. (COORDINATE WITH BACK SETS AND STRIKES)
- D. CONTRACTOR TO REMOVE AND PROVIDE NEW LIGHT FIXTURES AND (COORDINATE EXTENT OF NEW LIGHT FIXTURES AND LOCATIONS WITH OWNER) SEE UNIT COST ALLOWANCE CHART ON SHEET A1.
- E. PROVIDE TIMER SWITCHES FOR ALL CEILING MOUNTED EXHAUST FANS.
- F. ALL EXISTING OUTLETS, SWITCHES & PLATES TO BE REMOVED AND REPLACED WITH NEW DEVICES & PLATES - BOTH COLORS TO BE WHITE. (COORDINATE WITH OWNER) (V.I.F.)

KEY NOTES

- 1 PROVIDE NEW ROUND BOWL TOILET AND SEAT CONNECTED TO EXISTING PLUMBING. (COLOR WHITE) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 2 PROVIDE NEW GYPSUM BOARD AND WOOD STUD PLUMBING CHASE. (1/2" MILDEW RESISTANT DRYWALL ON 2X4 WOOD STUDS AT 16" O.C.)
- 3 NO WORK IN THIS AREA.
- 4 MODIFY EXISTING COLD WATER SUPPLY LINE INTO NEW PLUMBING CHASE. (V.I.F.)
- 5 PROVIDE NEW HOT WATER SUPPLY LINE FOR NEW VANITY. CONNECT TO EXISTING HOT WATER SUPPLY IN SHOWER. (V.I.F.)
- 6 PROVIDE NEW SURFACE MOUNTED SHOWER UNIT WITH STAINLESS STEEL COVER. (WS-1 WCA-EF-LX BY BRADLEY OR APPROVED EQUAL)
- 7 24" WIDE WOOD VANITY BASE CABINET WITH SOLID SURFACE TOP W/ INTEGRAL SINK, BACK SPLASH, AND CENTER SET TWO HANDLE FAUCET. (CONNECT TO NEW EXISTING PLUMBING) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 8 PROVIDE NEW 24" X 32" FRAMELESS WALL MOUNTED MIRROR. (MODEL 141 BY BRADLEY OR APPROVED EQUAL).
- 9 PROVIDE NEW 3/8" GYPSUM BOARD CEILING MOUNTED TO BOTTOM OF EXISTING FLOOR JOISTS ABOVE AND PAINT. (SATIN FINISH) (COLOR TO BE SELECTED)
- 10 PROVIDE RESINOUS COATING ON ALL WALLS (PROVIDE HIGH BUILD BLOCK FILLER PRIMER - SHERWIN WILLIAMS B42044 AND THEN RESUWALL AQUA BY SHERWIN WILLIAMS OR EQUAL) AND FLOOR (RESUFLOOR SHOP FLOOR SB BY SHERWIN WILLIAMS OR EQUAL) IN THIS ROOM ON PROPERLY PREPPED SURFACES PER COATING MANUFACTURERS RECOMMENDATIONS.
- 11 PROVIDE NEW EXHAUST FAN AND SWITCH. CONNECT TO EXISTING EXHAUST DUCTING IN TOILET. (V.I.F.) (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 12 PROVIDE NEW HOLLOW CORE LAMINATE DOOR IN EXISTING FRAME. COORDINATE SIZE WITH EXISTING DOOR FRAME.
- 13 EXISTING BLOCK WALL FULL HEIGHT FROM CORNER TO CORNER TO BE REPAINTED. (DRYLOK OR APPROVED EQUAL) COLOR TO MATCH EXISTING.
- 14 INFILL FLOORING AT LOCATION OF MISSING FLOOR TILE WITH NEW VCT FLOORING CUT TO FIT. (V.I.F.) (COLOR TO MATCH EXISTING) (TYPICAL THIS ROOM)

UNIT COST ALLOWANCE CHART

Item	Unit Cost	Quantity	Item Allowance
Water Closets	300.00	3	900.00
Vanities w/ Top & Faucet	700.00	3	2,100.00
Bathroom Accessories - TP/TB/RH/SB	125.00	3	375.00
Tub/Shower Unit	900.00	1	900.00
Shower Unit	1,150.00	1	1,150.00
Exhaust Fan	120.00	3	360.00
Kitchen Cabinets	5,800.00	1	5,800.00
Kitchen Sink w/ Faucet & Sprayer	280.00	1	280.00
1.9 cu.ft. over range microwave	325.00	1	325.00
30" 5.0 cu.ft gas range	1,100.00	1	1,100.00
Window vinyl mini blinds	40.00	20	800.00
Lighting - Ceiling fan with light	150.00	2	300.00
Lighting - Ceiling	40.00	9	360.00
Lighting - Bathroom	75.00	5	375.00
Lighting - Closet	30.00	8	240.00
Lighting - Bedrooms	50.00	8	400.00
Lighting - Halls/Stairs	40.00	4	160.00
Smoke Detectors	60.00	10	600.00
Smoke Detectors / CM Detector	80.00	5	400.00
Exterior Lighting (Motion sensor)	75.00	4	300.00
Total (Materials only) Excludes Labor			17,225.00

- Quantities are estimated only and should be coordinated in field and with owner prior to ordering. Contractor shall provide owner with a package(s) of items noted above, including costs for review by owner.
 - Final selections shall be made by owner from contractors submitted package(s) of above noted items.
 - Allowance costs are for ITEMS ONLY minus any associated installation costs.

NOTE:
 GENERAL CONTRACTOR TO PROVIDE A \$10,000 ALLOWANCE IN HIS/HER BID FOR UNFORESEEN/MISCELLANEOUS CONDITIONS. WHEN FIGURING THIS ALLOWANCE IN THE BID, THE CONTRACTOR IS TO INCLUDE ALL NECESSARY OVERHEAD AND PROFIT TO CARRY THIS DOLLAR VOLUME. THIS ALLOWANCE IS NOT FOR THE CONTRACTOR'S BENEFIT, AND IS ONLY AUTHORIZED TO CHARGE AGAINST THIS ALLOWANCE WHEN DIRECTED AND APPROVED BY OWNER. THE CONTRACTOR WILL BE ALLOWED TO INVOICE FOR DIRECT MATERIAL AND RAW LABOR COSTS ONLY.

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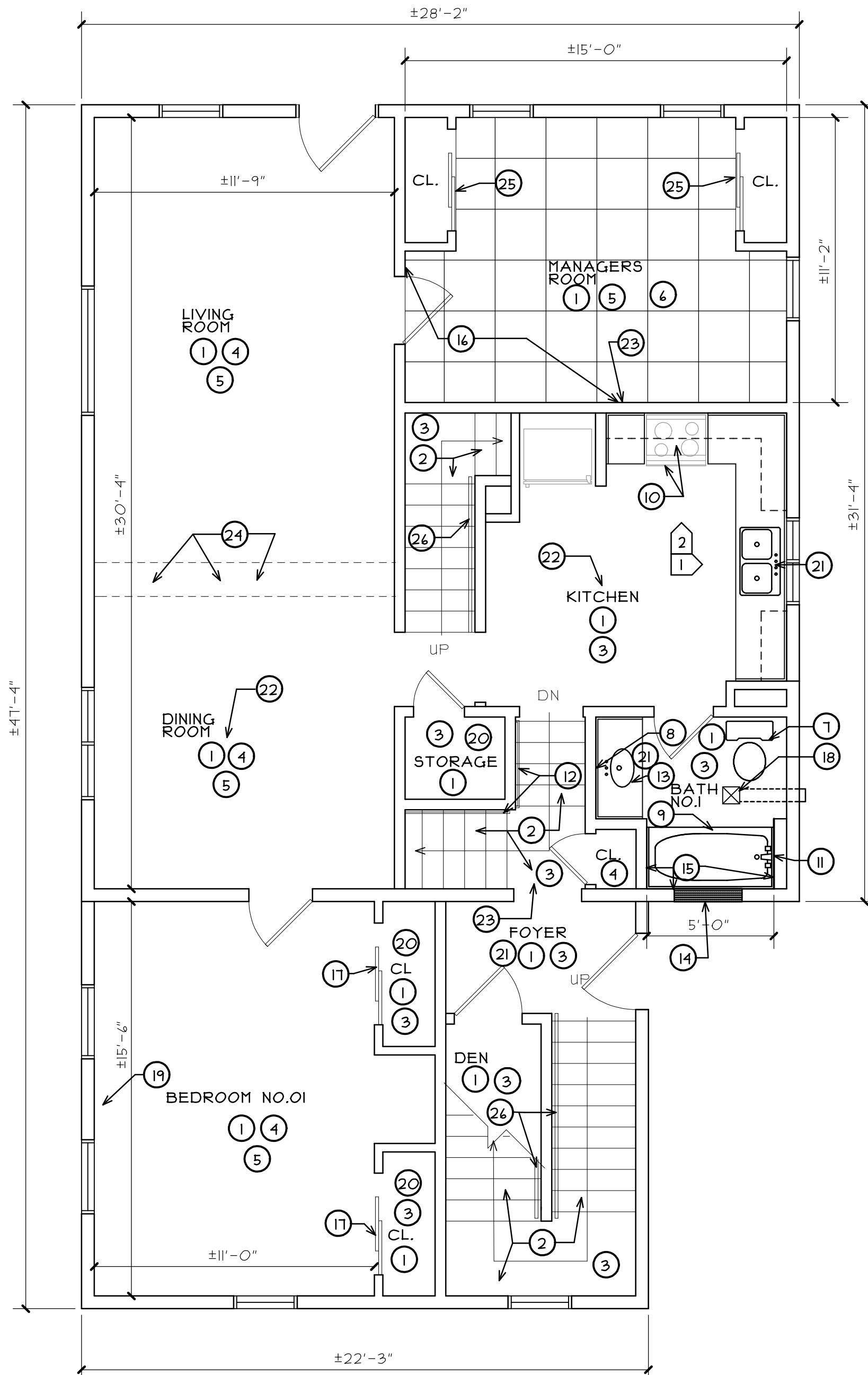
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 JOLIET, ILLINOIS

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SHEET NUMBER

A1



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

FLOOR PLAN LEGEND

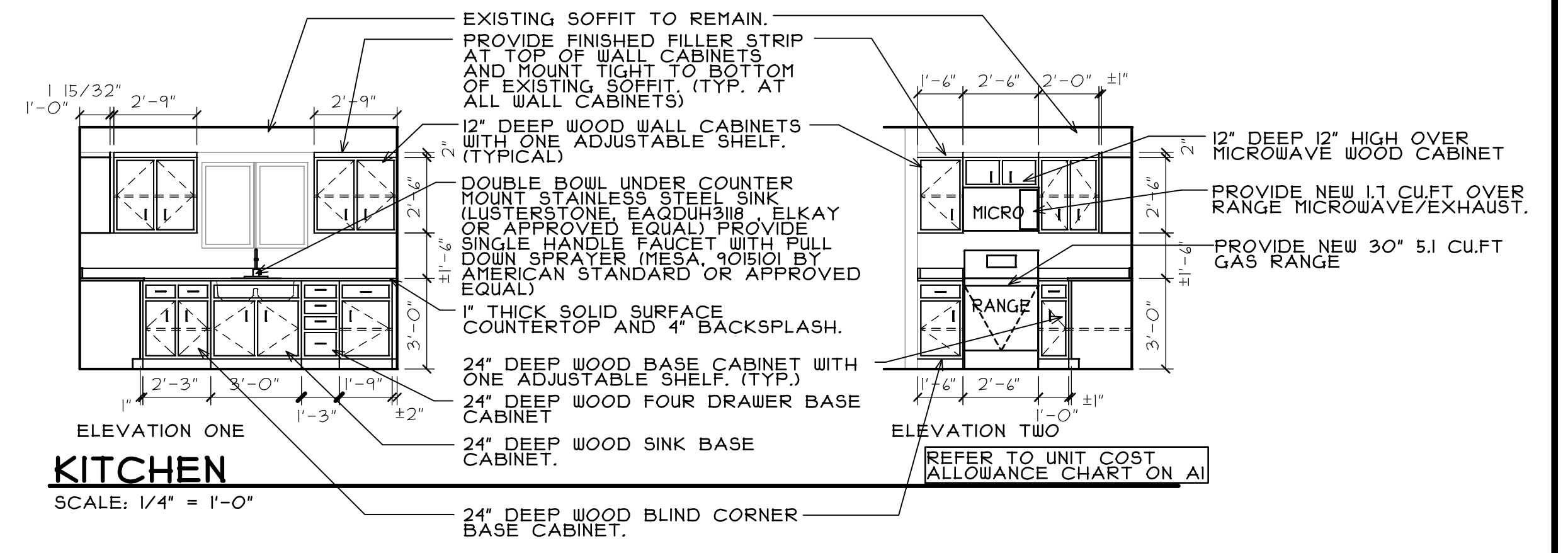
- EXISTING WALLS TO REMAIN (TYPICAL)
- EXISTING DOOR & FRAME TO REMAIN (TYPICAL)
- INTERIOR VIEWS INDICATED WITH THESE TAGS. REFERENCE ELEVATIONS KEYED BY THE INDICATED NUMBER ON DRAWING SHEET A2.
- ALL CHANGES IN FLOOR FINISH MATERIAL OR COLOR ARE TO OCCUR UNDER CENTER OF DOOR OR AT LOCATIONS INDICATED. PROVIDE NEW TRANSITION STRIP AT MATERIAL CHANGE LOCATIONS.

FLOOR PLAN GENERAL NOTES

- A. PATCH & REPAIR ALL EXISTING GYPSUM BOARD SURFACES TO "LIKE NEW" CONDITION PRIOR TO INSTALLING NEW FINISHES.
- B. ALL NEW/EXISTING INTERIOR WOOD TRIM, DOORS AND FRAMES ON FIRST AND SECOND FLOORS TO BE PREPPED AND PAINTED. (V.I.F.)
- C. CONTRACTOR TO REMOVE AND PROVIDE NEW LIGHT FIXTURES AND (COORDINATE EXTENT OF NEW LIGHT FIXTURES AND LOCATIONS WITH OWNER) SEE UNIT COST ALLOWANCE CHART ON SHEET A1.
- D. PROVIDE NEW PASSAGE LEVER SETS (SCHLAGE ACCENT OR APPROVED EQUAL) IN ALL NEW AND EXISTING DOORS. (COORDINATE WITH BACK SETS AND STRIKES)
- E. CONTRACTOR TO PROVIDE ALL NEW VINYL WINDOWS. SEE SHEET A4.
- F. EXISTING WINDOW TRIM TO REMAIN AND BE MODIFIED IF REQUIRED FOR NEW WINDOWS WITH MATCHING MATERIAL. TRIM TO BE PREPPED AND PAINTED
- G. ALL EXISTING OUTLETS, SWITCHES, & PLATES TO BE REMOVED AND REPLACED WITH NEW DEVICES OR PLATES - BOTH COLORS TO BE WHITE. (COORDINATE WITH OWNER) (V.I.F.)
- H. EXISTING HVAC SUPPLY DIFFUSER AND RETURNS GRILLES TO BE REMOVED, CLEANED AND PAINTED WHITE AND RE-INSTALLED. (V.I.F.)
- I. PROVIDE NEW PAINTED WOOD QUARTER ROUND SHOE MOLDING IN ALL ROOMS AFTER NEW FLOORING IS INSTALLED. (V.I.F.)
- J. CONTRACTOR TO PROVIDE ALL NEW VINYL SIDING AND TRIM ON HOUSE AND DETACHED GARAGE. SEE SHEETS A4 AND A5.
- K. PROVIDE TIMER SWITCHES FOR ALL CEILING MOUNTED EXHAUST FANS.
- L. PROVIDE NEW BLINDS ON ALL WINDOWS. SEE UNIT COST ALLOWANCE CHART.
- M. PROVIDE NEW HVAC RETURN GRILLES IN ALL ROOMS. (V.I.F.) (COLOR TO BE SELECTED)

KEY NOTES

- 1 PROVIDE NEW 8" X 48" LVT PLANK FLOORING. (GERFLOR, CREATIONS GROVEPOINT ARMSTRONG BIOME OR APPROVED EQUAL) (COLOR TO BE SELECTED BY OWNER)
- 2 PROVIDE NEW LVT PLANK FLOORING (GERFLOR, CREATIONS GROVEPOINT ARMSTRONG BIOME OR APPROVED EQUAL) ON TREAD AND RISER OF EXISTING STAIRS. PROVIDE NEW RUBBER STAIR NOSING (R) STAIR NOSING BY ROPPE OR APPROVED EQUAL). COLOR TO BE SELECTED.
- 3 PAINT WALLS AND CEILING IN THIS ROOM. (V.I.F.) COLOR TO BE SELECTED. (SATIN FINISH)
- 4 EXISTING CEILING TO BE PREPPED AND PAINTED. COLOR TO BE SELECTED. (FLAT FINISH)
- 5 EXISTING WALL PANELING TO BE PREPPED AND PAINTED. (COLOR TO BE SELECTED) (SATIN FINISH) THIS INCLUDES ALL PANELING TRIM AS WELL. (V.I.F.)
- 6 PROVIDE NEW 2X2 ACOUSTICAL CEILING AND GRID (GLACIER PANELS AND DXX GRID BY USG OR APPROVED EQUAL) MOUNT AT EXISTING HEIGHT. (COLOR WHITE)
- 7 PROVIDE NEW ELONGATED BOWL TOILET AND SEAT CONNECTED TO EXISTING PLUMBING. (COLOR WHITE)
- 8 PROVIDE NEW 42" X 36" FRAMELESS WALL MOUNTED MIRROR (MODEL 141 BY BRADLEY OR APPROVED EQUAL).
- 9 PROVIDE NEW 60" X 32" BATH TUB WITH INTEGRAL APRON AND NEW SURROUND (60" X 32") PROVIDE NEW TUB AND SHOWER SET FAUCET CONNECTING TO EXISTING PLUMBING. FINAL FIXTURE SELECTION TO BE COORDINATE WITH OWNER. (MODIFY EXISTING PLUMBING AS REQUIRED FOR NEW FIXTURES) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 10 NEW GAS RANGE AND WALL HUNG MICROWAVE. SEE UNIT COST ALLOWANCE CHART
- 11 MODIFY EXISTING PLUMBING CHASE AS REQUIRED FOR NEW TUB AND ENCLOSURE. PATCH CHASE WITH NEW MOLD/MOISTURE RESISTANT DRYWALL.
- 12 EXISTING METAL PIPE HAND RAIL TO BE PAINTED TO MATCH WALLS.
- 13 48" WIDE WOOD VANITY BASE CABINET WITH SIDE FILLER STRIPS. SCRIBED TO WALL WITH SOLID SURFACE TOP W/ INTEGRAL SINK. BACK SPLASH AND CENTER SET TWO HANDLE FAUCET. (CONNECT TO NEW EXISTING PLUMBING) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 14 EXTERIOR WALL TO BE INFILLED WITH NEW WOOD STUDS, INSULATION, SHEATHING AND DRYWALL AT LOCATION OF REMOVED GLASS BLOCK WINDOW WITH LIKE MATERIALS. (V.I.F.)
- 15 PATCH WALLS INTO TOP OF BATH TUB WALL SURROUND ON ALL SIDES PRIOR TO PAINT FINISH.
- 16 EXISTING FLEX CONDUIT WIRING TACKED ABOVE DROPPED CEILING FOR DESK LIGHT AND THREE WAT SWITCHES TO BE REMOVED AND PROPERLY INSTALLED IN CODE COMPLIANT METAL CONDUIT. (V.I.F.)
- 17 PROVIDE NEW METAL SLIDING DOOR CENTER BOTTOM GUIDE. (V.I.F.)
- 18 INSTALL NEW LIGHT/EXHAUST FAN IN CEILING AND PROVIDE NEW SWITCHING AND DUCT TO OUTSIDE WITH NEW EXTERIOR WALL LOUVER WITH BACK DRAFT DAMPER. (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 19 REMOVE AND PROVIDE NEW CEILING HUNG PENDANT LIGHT FIXTURE AT EXISTING LOCATION. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 20 REMOVE AND PROVIDE NEW CEILING MOUNT LED CLOSET LIGHT FIXTURE. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 21 REMOVE AND PROVIDE NEW CEILING MOUNT LED LIGHT FIXTURE AT EXISTING LOCATION. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 22 REMOVE AND PROVIDE NEW CEILING FAN AND LIGHT AT EXISTING LOCATION. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 23 REMOVE AND PROVIDE NEW WALL SCONCE LED LIGHT FIXTURE AT EXISTING LOCATION. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 24 REMOVE AND PROVIDE RECESSED LED LIGHT FIXTURE AT EXISTING LOCATIONS. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- 25 EXISTING DRAWER FRONTS UNDER CLOSET, DOORS AND CLOSET DOORS TO BE PREPPED AND PAINTED TO MATCH NEW TRIM COLOR. (V.I.F.)
- 26 EXISTING HAND RAIL TO BE REMOVE AND REINSTALLED PROPERLY. SUPPORT BRACKETS TO BE RELOCATED TO MOUNT TO WALL STUDS AND/OR NEW SOLID BLOCKING NOT WITH WALL ANCHORS. PROVIDE AN ADDITIONAL TWO (2) BRACKETS PER RAILING IN EACH STAIR RUN (TYPICAL) (V.I.F.)



KITCHEN
SCALE: 1/4" = 1'-0"

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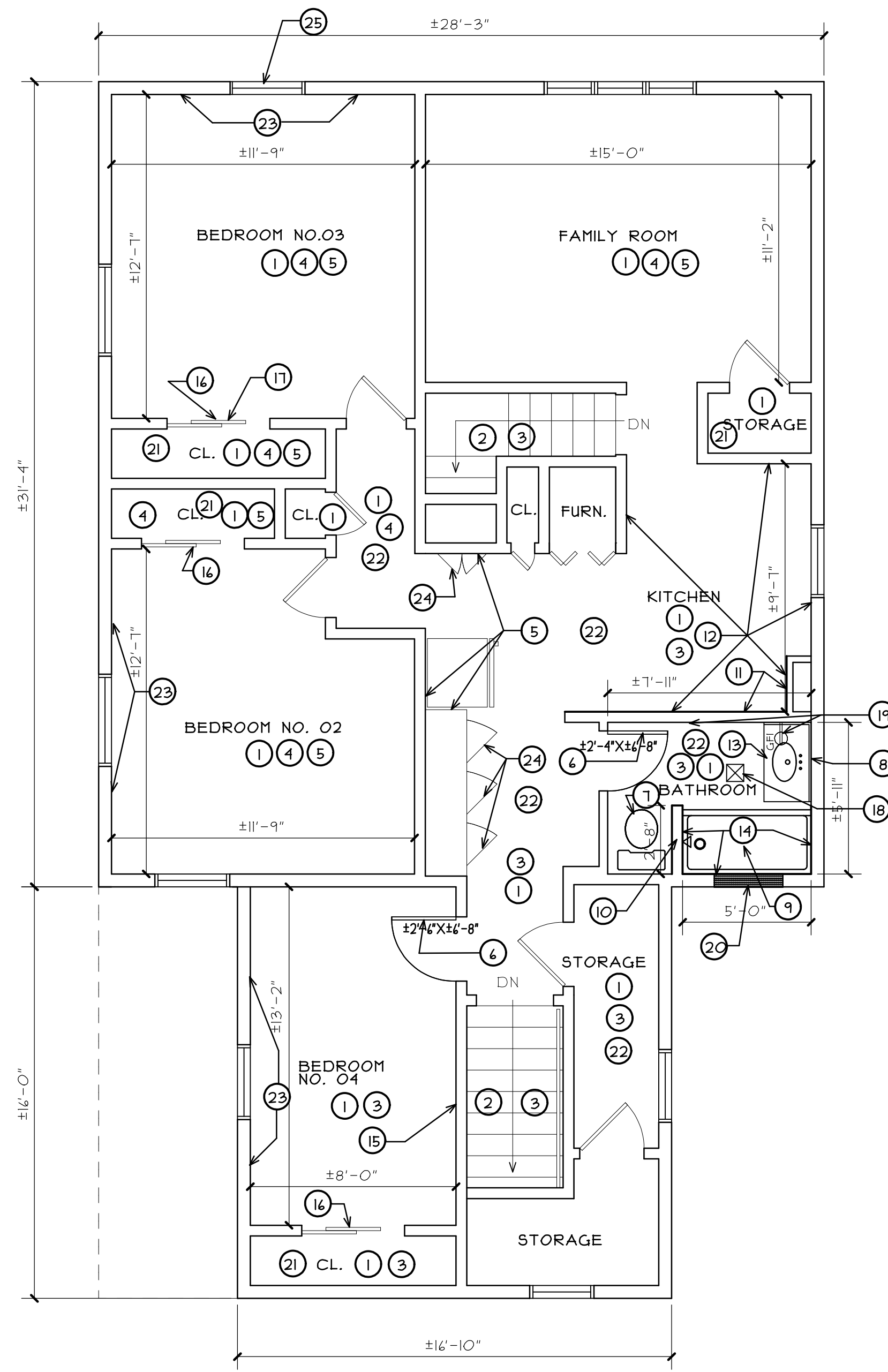
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A2

OF 5 SHEETS



SECOND FLOOR PLAN
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NORTH

FLOOR PLAN LEGEND

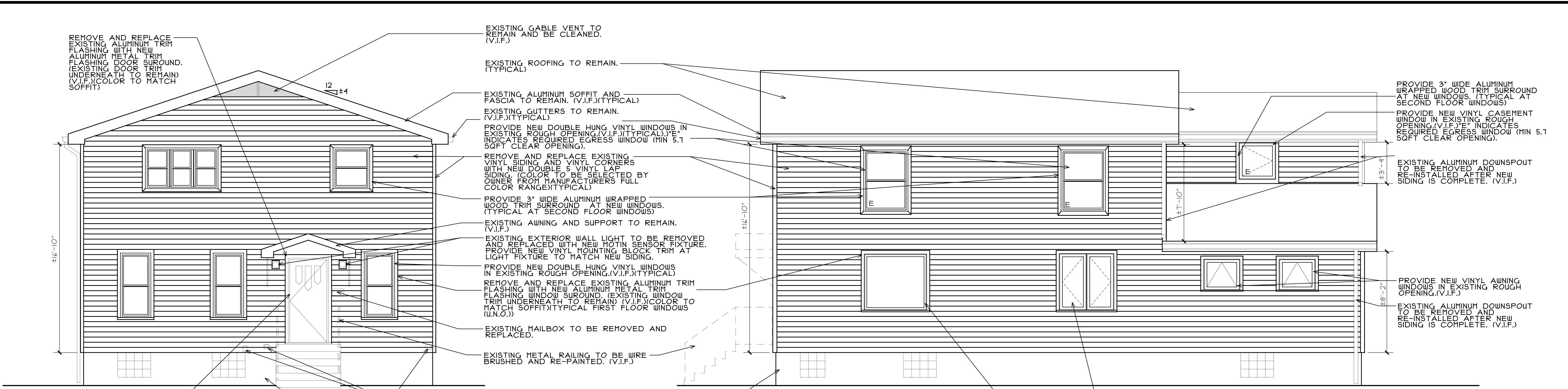
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FLOOR PLAN GENERAL NOTES

- A. PATCH & REPAIR ALL EXISTING GYPSUM BOARD SURFACES TO "LIKE NEW" CONDITION PRIOR TO INSTALLING NEW FINISHES.
- B. ALL NEW/ EXISTING INTERIOR WOOD TRIM, DOORS AND FRAMES ON FIRST AND SECOND FLOORS TO BE PREPPED AND PAINTED. (V.I.F./U.N.O.)
- C. CONTRACTOR TO REMOVE AND PROVIDE NEW LIGHT FIXTURES AND (COORDINATE EXTENT OF NEW LIGHT FIXTURES AND LOCATIONS WITH OWNER) SEE UNIT COST ALLOWANCE CHART ON SHEET A1.
- D. PROVIDE NEW PASSAGE LEVER SETS (SCHLAGE ACCENT OR APPROVED EQUAL) IN ALL NEW AND EXISTING DOORS. (COORDINATE WITH BACK SETS AND STRIKES)
- E. CONTRACTOR TO PROVIDE ALL NEW VINYL WINDOWS. SEE SHEET A4.
- F. EXISTING WINDOW TRIM TO REMAIN AND BE MODIFIED IF REQUIRED FOR NEW WINDOWS WITH MATCHING MATERIAL. TRIM TO BE PREPPED AND PAINTED
- G. ALL EXISTING OUTLETS, SWITCHES & PLATES TO BE REMOVED AND REPLACED WITH NEW DEVICES & PLATES - BOTH COLORS TO BE WHITE. (COORDINATE WITH OWNER) (V.I.F.)
- H. EXISTING HVAC SUPPLY DIFFUSER AND RETURNS GRILLES TO BE REMOVED, CLEANED AND PAINTED WHITE AND RE-INSTALLED. (V.I.F.)
- I. PROVIDE NEW PAINTED WOOD QUARTER ROUND SHOE MOLDING IN ALL ROOMS AFTER NEW FLOORING IS INSTALLED. (V.I.F.)
- J. CONTRACTOR TO PROVIDE ALL NEW VINYL SIDING AND TRIM ON HOUSE AND DETACHED GARAGE. SEE SHEETS A4 AND A5.
- K. PROVIDE TIMER SWITCHES FOR ALL CEILING MOUNTED EXHAUST FANS.
- L. PROVIDE NEW BLINDS ON ALL WINDOWS. SEE UNIT COST ALLOWANCE CHART.

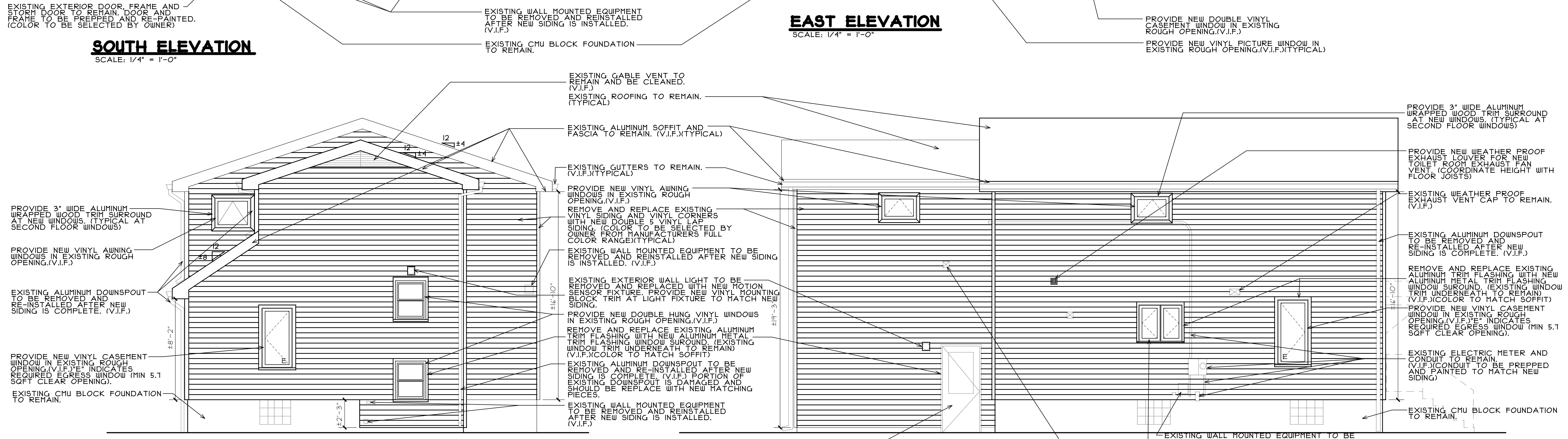
KEY NOTES

- ① PROVIDE NEW 8" X 48" LVT PLANK FLOORING (GERFLOR CREATIONS GROVEPOINT, ARMSTRONG BIOME OR APPROVED EQUAL) (COLOR TO BE SELECTED BY OWNER)
- ② PROVIDE NEW LVT PLANK FLOORING (GERFLOR CREATIONS GROVEPOINT, ARMSTRONG BIOME OR APPROVED EQUAL) TREAD AND RISER OF EXISTING STAIRS. PROVIDE NEW RUBBER STAIR NOSING (R) STAIR NOSING BY ROPPE OR APPROVED EQUAL). COLOR TO BE SELECTED.
- ③ PAINT WALLS AND CEILING IN THIS ROOM. (V.I.F.) COLOR TO BE SELECTED. (SATIN FINISH)
- ④ PAINT CEILING. COLOR TO BE SELECTED. (FLAT FINISH)
- ⑤ EXISTING WALL PANELING TO BE PREPPED AND PAINTED (COLOR TO BE SELECTED) (SATIN FINISH) THIS INCLUDES ALL PANELING TRIM AS WELL AS BRICK PATTERNS PANELING (V.I.F.)
- ⑥ PROVIDE NEW HOLLOW CORE LAUAN DOOR IN EXISTING FRAME. COORDINATE SIZE WITH EXISTING DOOR FRAME. (42'-3" X 46'-8")
- ⑦ PROVIDE NEW ELONGATED BOWL TOILET AND SEAT CONNECTED TO EXISTING PLUMBING (COLOR WHITE) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- ⑧ PROVIDE NEW 30" X 36" FRAME LESS WALL MOUNTED MIRROR. (MODEL 141 BY BRADLEY OR APPROVED EQUAL).
- ⑨ PROVIDE NEW 40" X 32" SHOWER BASE AND NEW SURROUND (40X32X12). PROVIDE NEW SHOWER SET FAUCET CONNECTED TO EXISTING PLUMBING (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) EXISTING PLUMBING AS REQUIRED FOR NEW FIXTURES) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- ⑩ MODIFY/ RELOCATE EXISTING PLUMBING WALL AS REQUIRED FOR NEW SHOWER AND ENCLOSURE. PATCH WALL WITH NEW MOLD/MOISTURE RESISTANT DRYWALL.
- ⑪ PROVIDE NEW LAYER OF 1/2" GYPSUM BOARD ON EXISTING WOOD STUDS FULL HEIGHT.
- ⑫ PROVIDE NEW MATCHING WOOD WALL BASE IN THIS ROOM. PAINT. (V.I.F.)
- ⑬ 36" WIDE WOOD VANITY BASE CABINET WITH SOLID SURFACE TOP W/ INTEGRAL SINK, BACK SPLASH AND CENTERSET TWO HANDLE FAUCET (CONNECT TO NEW/EXISTING PLUMBING) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- ⑭ PATCH WALLS INTO TOP OF BATH TUB WALL SURROUND ON ALL SIDES PRIOR TO PAINT FINISH.
- ⑮ REMOVE AND REPLACE DAMAGED DUPLEX RECEPTACLE WITH NEW "LIKE DEVICE" (V.I.F.)
- ⑯ PROVIDE NEW METAL SLIDING DOOR CENTER BOTTOM GUIDE. (V.I.F.)
- ⑰ RE-INSTALL EXISTING CLOSET DOORS. (V.I.F.)
- ⑱ INSTALL NEW EXHAUST FAN IN CEILING AND PROVIDE NEW SWITCHING AND DUCT TO OUTSIDE WITH NEW EXTERIOR WALL LOUVER WITH BACK DRAFT DAMPER. (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- ⑲ EXISTING GFI DUPLEX OUTLET AND BOX TO BE RELOCATED TO NEW LOCATION AT VANITY. (V.I.F.)
- ⑳ EXTERIOR WALL TO BE INFILLED WITH NEW WOOD STUDS, INSULATION, SHEATHING AND DRYWALL AT LOCATION OF REMOVED GLASS BLOCK WINDOW WITH LIKE MATERIALS. (V.I.F.)
- ㉑ REMOVE AND PROVIDE NEW CEILING MOUNT LED CLOSET LIGHT FIXTURE. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- ㉒ REMOVE AND PROVIDE NEW CEILING MOUNT LED LIGHT FIXTURE AT EXISTING LOCATION. (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- ㉓ REMOVE AND PROVIDE NEW WALL SCONCE LED LIGHT FIXTURE AT EXISTING LOCATION (COORDINATE FINAL FIXTURE SELECTION WITH OWNER) (V.I.F.) REFER TO UNIT COST ALLOWANCE CHART ON SHEET A1.
- ㉔ EXISTING STORAGE CABINET TO REMAIN. PREP DOORS AND FRAME AND PAINT TO MATCH ROOM DOOR AND FRAME COLOR. (V.I.F.) EXISTING DOOR HARDWARE PULLS TO BE REMOVED AND REPLACED.
- ㉕ EXISTING WINDOW ROUGH OPENING TO BE MODIFIED AT SILL FOR NEW LARGER OPENING IN HEIGHT (NEW WINDOW TO MATCH HEIGHT OF OTHER SECOND FLOOR WINDOW ON SOUTH ELEVATION) (COORDINATE R.O. SIZE WITH NEW WINDOW) INTERIOR WINDOW TRIM TO BE MODIFIED WITH NEW MATCHING TRIM FOR NEW WINDOW SIZE. (V.I.F.)



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR GENERAL NOTES

- A. CONTRACTOR TO REMOVE EXISTING WINDOWS, AND PROVIDE NEW DOUBLE PANE VINYL WINDOWS WITH LOW E COATING (2500 SERIES BY PELLA OR EQUAL IN EXISTING ROUGH OPENING UNLESS NOTED OTHERWISE. (SEE ELEVATIONS FOR WINDOW TYPE) CONTRACTOR TO MEASURE EXISTING WINDOW OPENINGS PRIOR TO ORDERING.
- B. CONTRACTOR REMOVE EXISTING SIDING AND TRIM AND PROVIDE/INSTALL NEW .042" MIN THICKNESS VINYL DOUBLE 5" TRADITIONAL LAP SIDING (BY GEORGIA PACIFIC OR EQUAL) AND ASSOCIATED TRIM PIECES FOR A COMPLETE INSTALLATION. (COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE.
- C. NEW WINDOWS TO BE PROPERLY FLASH TAPED AND CAULKED.

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 SAO RECOVERY HOME
 311 LIME STREET
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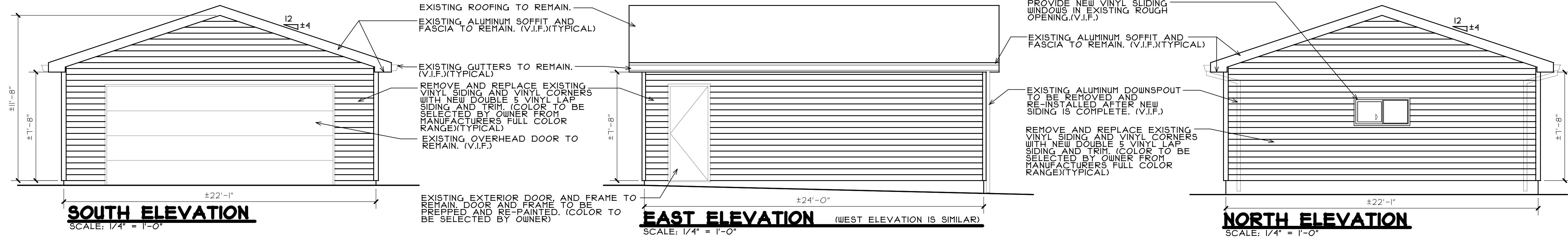
DATE: 2/20/2025
 REVISED:

PROJECT NO.
 2407-04

SHEET NUMBER

A4

OF 5 SHEETS



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