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Roofing Rehabilitation: Will County Courthouse Annex Building

Project: **Will County Courthouse Annex**
57 North Ottawa Street
Joliet, Illinois 60432

Owner: **Will County Purchasing Department**
302 North Chicago Street
Joliet, Illinois 60432

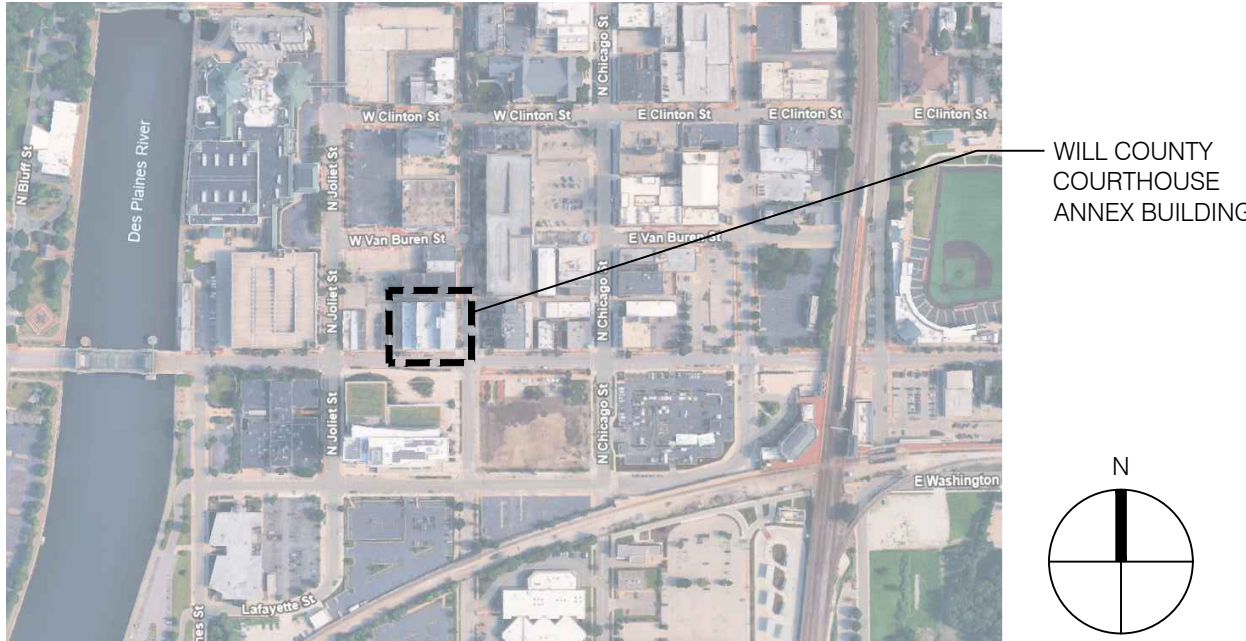
Engineer: **Wiss, Janney, Elstner Associates, Inc.**
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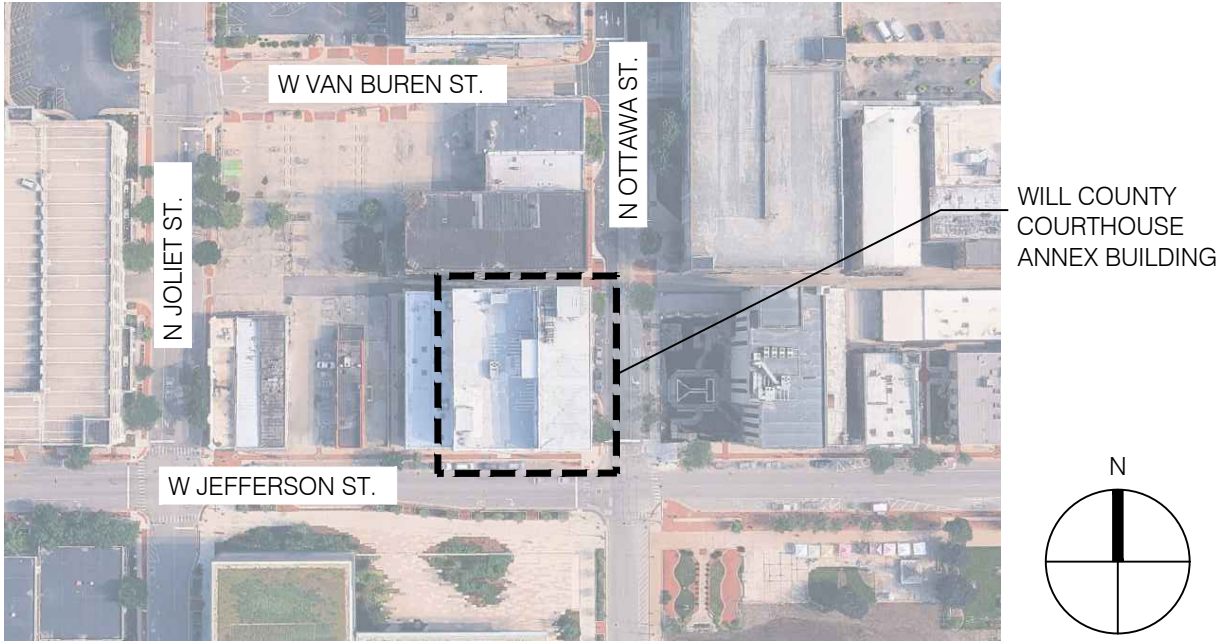
AERIAL VIEW

SCALE: NONE



SITE MAP

SCALE: NONE



GENERAL NOTES

- ALL DEMOLITION INCLUDING, BUT NOT LIMITED TO THE OPERATION COMMONLY KNOWN AS "TEAR-OFF" MUST BE COORDINATED WITH THE OWNER'S SITE REPRESENTATIVE. THE INTERIOR OF THE BUILDING, AS WELL AS ALL DRAIN PIPE OPENINGS MUST BE PROTECTED FROM DEBRIS ENTRY AT ALL TIMES. SUITABLE COVERINGS FOR ALL DRAIN OPENINGS, ROOF DECK OPENINGS, SCUTTLES, HATCHES, ETC. MUST BE PROVIDED TO PREVENT DEBRIS ACCUMULATION AND MIGRATION. PROVIDE AND MAINTAIN ALL NECESSARY DEBRIS AND DUST BARRIERS TO MAINTAIN A CLEAN, SAFE, ORDERLY SITE.
- LIMIT THE STORAGE OF ROOFING MATERIALS ATOP ROOF SURFACES TO ENSURE THAT ROOF DECKS DO NOT BECOME STRUCTURALLY OVERLOADED. PROTECT ALL STORED MATERIALS FROM THE WEATHER, AS WELL AS FROM DAMAGE RESULTING FROM HIGH WINDS. MATERIALS, TOOLS, EQUIPMENT, ETC. MUST BE SAFELY AND SECURELY STORED ON A CONSTANT BASIS.
- DIMENSIONS AND RELATED AS-BUILT DATA HAS BEEN OBTAINED FROM THE ORIGINAL DESIGN DRAWINGS FOR THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS. DIMENSIONS SHOULD BE FIELD VERIFIED PRIOR TO BIDDING.
- CONTRACTOR SHALL COORDINATE ANY STORAGE OF MATERIALS AT THE BUILDING WITH THE OWNER.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE BUILDING (WALLS, ROOF, ETC.), LANDSCAPING, AND ADJACENT PROPERTIES CAUSED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION.
- THE SCOPE OF WORK IS A TURNKEY CONTRACT INCLUDING TAXES, INSURANCE, PERMITS, FEES, LICENSES, AND BONDS REQUIRED FOR COMPLIANCE WITH LOCAL, STATE, AND FEDERAL LAWS, STATUTES, AND ORDINANCES.
- THESE PROJECT NOTES APPLY UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS AND DETAILS. VERIFY DIMENSIONS PRIOR TO BIDDING THE PROJECT AND COORDINATE PLANS AND DETAILS WITH ACTUAL FIELD CONDITIONS BEFORE STARTING WORK. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. FABRICATION, CONSTRUCTION, WORKMANSHIP, AND MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF THE APPLICABLE BUILDING AND PLUMBING CODE, OR OTHER LOCAL APPLICABLE CODE, WHICHEVER IS THE MORE STRINGENT.
- ALL ROOF SYSTEMS ARE DESIGNED UNDER THE 2023 INTERNATIONAL BUILDING CODE, AND ASCE 7-22.
- WORK COVERED IN THESE PLANS INCLUDES ALL PIECES, PARTS, FEATURES, COMPONENTS, AND TECHNIQUES FOR A COMPLETE ASSEMBLY NORMALLY ASSOCIATED WITH WORK OF THE TYPE BEING CONSTRUCTED, WHETHER OR NOT SUCH PIECES, PARTS, AND COMPONENTS ARE SHOWN ON THE PLANS AND DETAILS.
- THE SCOPE OF WORK COVERED UNDER THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO, ROOFING REMOVAL AND REPLACEMENT, THE COST OF HOISTING, SCAFFOLD, PEDESTRIAN PROTECTION, STORAGE, DEMOLITION, DISPOSAL, CONCRETE WORK, MASONRY, CARPENTRY, LUMBER, MECHANICAL, ELECTRICAL, AND PLUMBING.
- CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND SCHEDULING WORK, INCLUDING COORDINATING THE SEQUENCE. THIS SCOPE OF WORK IS NOT INTENDED TO IMPLY A SEQUENCE.
- SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND THE CONTRACTOR SHALL CONDUCT WORK IN FULL AND COMPLETE ACCORDANCE WITH FEDERAL, STATE, AND LOCAL STATUTES, LAWS, AND ORDINANCES, INCLUDING, BUT NOT LIMITED TO, OSHA AND EPA.
- COMPLY WITH OWNER REQUIREMENTS REGARDING SCHEDULING CONSTRAINTS FOR OWNER CONVENIENCE. PROVIDE A CONSTRUCTION SCHEDULE TO THE OWNER AND A/E EVERY MONDAY THAT DEPICTS DAILY OPERATIONS FOR THE ROOFING WORK TO BE COMPLETED OVER THE UPCOMING TWO-WEEKS.
- INCLUDE WITH THE SUBMITTALS A PROJECT-SPECIFIC SCHEDULE FOR TIMES WHEN MECHANICAL UNITS WILL BE OUT OF SERVICE.
- REMOVE ROOFING DEBRIS FROM ROOF DAILY.
- KEEP GROUNDS AND ROOF CLEAN, NEAT, AND FREE OF DEBRIS AND TRASH AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE AND MAINTAIN SIDEWALK PROTECTION AT ALL AREAS OF EGRESS AND PEDESTRIAN AREAS TO PREVENT INJURY OR DAMAGE FROM FALLING DEBRIS THROUGHOUT THE ENTIRE PROJECT. ALL AREAS OF EGRESS SHALL REMAIN OPERATIONAL AT ALL TIMES.
- WHERE A CRANE IS NOT USED FOR DEBRIS REMOVAL, INSTALL A FULLY ENCLOSED AND SUPPORTED DEBRIS REMOVAL CHUTE EXTENDING FROM THE ROOFS TO THE GROUND OR DEBRIS CONTAINER IN A LOCATION DESIGNATED BY THE OWNER, AND MAINTAIN THE SAFE USE OF SUCH CHUTE FOR THE DURATION OF THE JOB. DO NOT THROW ROOFING DEBRIS FROM BUILDING ROOF.
- PROTECT BUILDING INTERIOR FROM LEAKAGE BY NOT TEARING OFF MORE ROOFING THAN CAN BE REPLACED THE SAME DAY IN A WATERTIGHT CONDITION. DO NOT ALLOW ROOFS TO BE OPEN OVERNIGHT.
- PROTECT BUILDING INTERIOR FROM RE-ROOFING DUST AND DEBRIS INFILTRATION THROUGH THE ROOF DECK AND DECK PENETRATIONS AND OPENINGS. NOTE THAT ACOUSTIC STEEL ROOF DECK IS PERFORATED AND MAY BE MORE SUSCEPTIBLE TO CONSTRUCTION PARTICULATE INFILTRATION DURING ROOF SYSTEM DEMOLITION ACTIVITIES.
- MAINTAIN DAILY WATER CUTOFFS TO PREVENT WATER MIGRATION BENEATH ROOFING SYSTEM. ROOF MEMBRANE MUST BE ADHERED OR HEAT WELDED TO ENSURE A WATERTIGHT SEAL. TEMPORARY SEALS WITH TAPE OR SEALANT ARE UNACCEPTABLE FOR OVERNIGHT WATER CUTOFFS.
- BY ALL NECESSARY MEANS, PROTECT ROOF COMPONENTS AND ASSEMBLIES FROM DAMAGE AND CONTAMINATION BY OTHER TRADES.
- CLEAN BUILDING, GROUNDS, AND ANY SURROUNDING STRUCTURES. SWEEP THE WORK AREA WITH A MAGNET TO PICKUP METAL SCRAPS, NAIL, AND SCREWS.



SCOPE OF WORK

THE SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED, TO THE FOLLOWING:

BASE BID - AREA 1:

- ROOF DEMOLITION
 - REMOVE AND DISCARD ROOF MEMBRANE AND INSULATION TO STRUCTURAL WOOD PLANK DECK
 - REMOVE AND DISCARD ASPHALT ROLL ROOFING MATERIAL ON ALL SIDES OF TWO PENTHOUSES.
 - REPAIR DETERIORATED WOOD DECKING ON A UNIT PRICE BASIS.
 - DEMOLISH AND DISCARD CHIMNEY AT NORTHEAST CORNER TO A LEVEL FLUSH WITH THE TOP OF THE SURROUNDING PARAPETS.
- POLYISOCYANURATE INSULATION
 - LOOSE LAY TWO LAYERS OF 1.5 INCH POLYISOCYANURATE OVER THE ROOF DECK WITH JOINTS STAGGERED AND OFFSET FROM UNDERLYING BOARD JOINTS.
 - MECHANICALLY FASTEN INSULATION THROUGH EXISTING ROOFING INTO WOOD DECK AT INTERVALS TO MEET WIND UPLIFT REQUIREMENTS.
- ROOFING MEMBRANE
 - INSTALL A 60 MIL TPO MEMBRANE AND FLASHING SYSTEM. MEMBRANE SHALL BE INDUCTION WELDED TO TPO COATED PLATES AS REQUIRED BY MEMBRANE MANUFACTURER.
- PENTHOUSE WALLS
 - MECHANICALLY ATTACH A LAYER OF HD POLYISOCYANURATE OVER WALL SURFACE.
 - ADHERE A LAYER OF 60 MIL TPO OVER PENTHOUSE WALLS.
 - INSTALL TERMINATION BAR OVER TOP EDGE OF MEMBRANE AND INTERMEDIATE TERMINATION BARS AS REQUIRED BY MANUFACTURER.
 - INSTALL DRIP EDGE FLASHING OVER TOP EDGE.
 - AT WEST ELEVATION OF SOUTH PENTHOUSE, EXTEND MEMBRANE OVER TOP AND OUTSIDE FACE OF PARAPET PRIOR TO INSTALLATION OF COPING CAP.
- STUCCO WALLS
 - REMOVE STUCCO AS REQUIRED TO ALLOW FOR A MINIMUM 8 INCH MEMBRANE FLASHING HEIGHT ABOVE METAL CAP FLASHINGS.
 - INSTALL TERMINATION BAR AND COUNTERFLASHING ALONG MEMBRANE TOP EDGE AND INSTALL NEW STUCCO WHERE EXISTING WAS REMOVED.
- WARRANTY
 - PROVIDE A 2-YEAR CONTRACTOR'S WORKMANSHIP WARRANTY COVERING ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
 - PROVIDE A 20-YEAR MANUFACTURERS "NO DOLLAR LIMIT" WARRANTY.

BASE BID - AREA 2:

- ROOF DEMOLITION
 - REMOVE AND DISCARD ALL MEMBRANE FLASHING AT WALLS, PERIMETER, AND EQUIPMENT PENETRATIONS.
 - CUT ROOF MEMBRANE INTO 5'X5' SECTIONS.
 - PERFORM INSPECTION OPENING WITHIN EACH SECTION TO INSPECT FOR MOISTURE. IF MOISTURE IS ENCOUNTERED, REMOVE ROOFING MEMBRANE AND INSULATION TO ROOF DECK UNTIL DRY MATERIALS ARE ENCOUNTERED. IF MOISTURE IS ENCOUNTERED, EXISTING MATERIALS ARE TO REMAIN.
- INSULATION INSTALLATION
 - IF WET INSULATION AND COVERBOARD MATERIALS ARE FOUND, REPLACE WATER-DAMAGED INSULATION WITH TAPERED INSULATION MATERIALS IN KIND TO CREATE A SURFACE FLUSH WITH THE SURROUNDING ROOFING MATERIALS .
- RECOVERY BOARD LAYER
 - LOOSE LAY A LAYER OF ½-INCH COVERBOARD OVER EXISTING ROOFING MEMBRANE.
 - MECHANICALLY FASTEN COVERBOARD LAYER THROUGH EXISTING ROOFING INTO STEEL DECK AT INTERVALS TO MEET WIND UPLIFT REQUIREMENTS
- ROOFING MEMBRANE
 - INSTALL A 60 MIL TPO MEMBRANE AND FLASHING SYSTEM. MEMBRANE SHALL BE INDUCTION WELDED TO TPO COATED PLATES AS REQUIRED BY MEMBRANE MANUFACTURER.
- WALL FLASHINGS
 - INSTALL FLASHING MEMBRANE UP WALL MINIMUM 8 INCHES ABOVE THE FINISHED ROOF SURFACE. SET TOP EDGE OF MEMBRANE IN SEALANT.
 - INSTALL TERMINATION BAR ALONG TOP EDGE OF MEMBRANE FLASHING AND MECHANICALLY FASTEN THROUGH LINE OF SEALANT BEHIND MEMBRANE. INSTALL SEALANT ALONG TOP EDGE OF TERMINATION BAR.
 - INSTALL COUNTERFLASHINGS OVER ALL MEMBRANE TERMINATIONS AS SHOWN IN THE DRAWINGS.
- PENTHOUSE WALLS
 - INSTALL NEW GIRTS ONTO MASONRY WALL AND INSTALL NEW 26 GAUGE R-PANEL SIDING OVER SOUTH, EAST, AND WEST ELEVATIONS.
- WARRANTY
 - PROVIDE A 2-YEAR CONTRACTOR'S WORKMANSHIP WARRANTY COVERING ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
 - PROVIDE A 20-YEAR MANUFACTURERS "NO DOLLAR LIMIT" WARRANTY.

ALTERNATE 1:

- CHIMNEY DEMOLITION
 - DEMOLISH AND DISCARD BRICK CHIMNEY AT NORTHEAST CORNER OF ROOF AREA 1
 - CHIMNEY SHALL BE LEVEL WITH THE TOP OF THE SURROUNDING PARAPETS
 - OVER OPENING, INSTALL 1-INCH PLYWOOD, WATERPROOFING MEMBRANE, AND SHEET METAL CAP. CAP MATERIAL SHALL MATCH MATERIAL THICKNESS, AND COLOR OF NEW COPING METAL.

WJE

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Princeton | San Francisco | Seattle | Washington, D.C.

PROJECT

**Roofing Rehabilitation
Will County Courthouse
Annex Building**

57 North Ottawa Street
Joliet, Illinois 60432

CLIENT

**Will County
Purchasing Department**

302 North Chicago Street
Joliet, Illinois 60432

1	8/20/2026	For Bid
MARK	DATE	DESCRIPTION
0'1'2' THIS SHEET PLOTS FULL SIZE AT 24X36 (INCHES)		

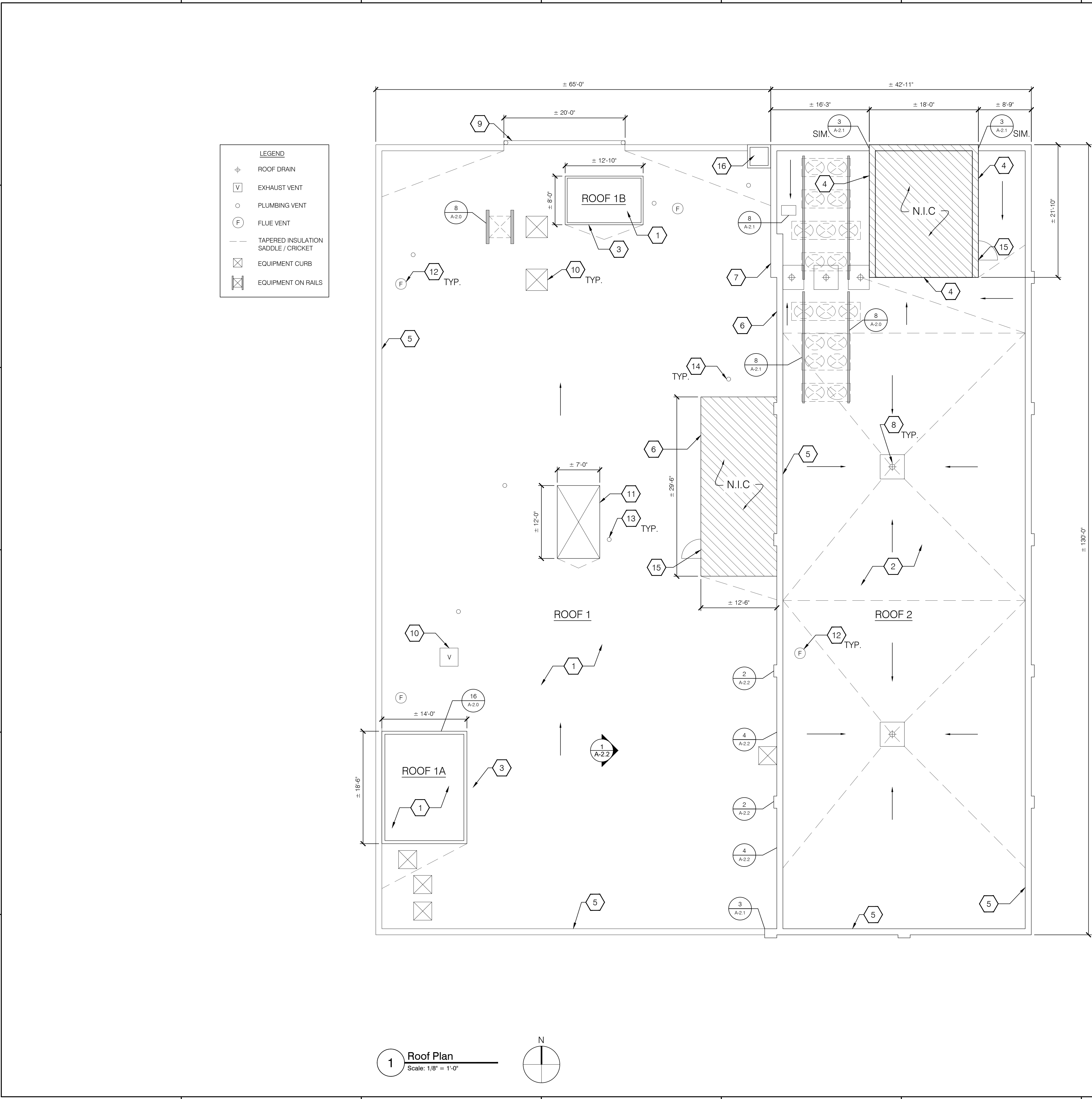
PROJECT NO.	2026.1737
DATE	August 20, 2026
DRAWN	EMW
REVIEWED	PDS
SHEET TITLE	

Titlesheet

SHEET NO.

A-0.0

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www.wje.com/p/VB2026/2026:xxx/2026:1737.0 - WILL COUNTY STATE'S ATTORNEY BUILDINGWJEWorkProductDrawings.FinalWill County Court Annex_Roof Replacement.7.27.abw



MARK	NOTE LEGEND
①	ROOF AREA 1, 1A, AND 1B: REMOVE MODIFIED BITUMEN ROOFING AND INSULATION TO WOOD PLANK ROOF DECK. INSTALL TWO LAYERS OF 1.5 INCH POLYISOCYANURATE OVER THE DECK. INSTALL A 60 MIL TPO MEMBRANE AND FLASHING SYSTEM. MEMBRANE SHALL BE INDUCTION WELDED TO TPO COATED PLATES AS REQUIRED BY MEMBRANE MANUFACTURER. SEE DETAILS 1 THROUGH 3/A-2.0.
②	ROOF AREA 2: CUT MODIFIED BITUMEN ROOFING INTO 5'X5' SECTIONS AND INSPECT EACH SECTION FOR MOISTURE. INSTALL ONE LAYER OF 0.5 INCH COVERBOARD OVER THE MEMBRANE. INSTALL A 60 MIL TPO MEMBRANE AND FLASHING SYSTEM. MEMBRANE SHALL BE INDUCTION WELDED TO TPO COATED PLATES AS REQUIRED BY MEMBRANE MANUFACTURER. SEE DETAILS 4 THROUGH 5/A-2.0.
③	AREA 1 PENTHOUSE WALLS: MECHANICALLY FASTEN 0.5 INCH HD POLYISOCYANURATE TO WALLS AT THE RATE OF ONE FASTENER AND PLATER PER 2 SF AND ADHERE TPO MEMBRANE. INSTALL INTERMEDIATE TERMINATION BAR AS REQUIRED BY MANUFACTURER. SEE DETAIL 5/A-2.1.
④	AREA 2 METAL SIDING: INSTALL HAT CHANNELS ON MASONRY PENTHOUSE WALLS AS REQUIRED BY CONTRACTOR'S DELEGATED DESIGN AND INSTALL METAL WALL PANEL SYSTEM AS SHOWN IN DETAIL 6/A-2.1
⑤	PARAPETS: EXTEND TPO MEMBRANE UP AND OVER PARAPETS. INSTALL SHEET METAL COPING AS SHOWN IN 1/A-2.1
⑥	RISE WALLS: REMOVE STUCCO AS NEEDED TO REMOVE EXISTING METAL AND MEMBRANE FLASHINGS. MECHANICALLY FASTEN TOP EDGE OF FLASHING MEMBRANE WITH TERMINATION BAR, 12" O.C. INSTALL A ONE-PIECE FLANGED COUNTERFLASHING AND NEW STUCCO WHERE REMOVED PER DETAIL 1/A-2.2.
⑦	MASONRY WALLS: REMOVE EXISTING METAL AND MEMBRANE FLASHINGS. MECHANICALLY FASTEN TOP EDGE OF TPO MEMBRANE WITH TERMINATION BAR, 12" O.C. INSTALL COUNTERFLASHING AS SHOWN IN DETAIL 4/A-2.1.
⑧	ROOF DRAINS: EXTEND TPO MEMBRANE INTO ROOF DRAINS. INSTALL SEALANT AND HARDWARE AS SHOWN IN 6/A-2.0.
⑨	GUTTER: INSTALL WOOD BLOCKING AS NEEDED TO MATCH HEIGHT OF INSULATION AND COVERBOARD. EXTEND MEMBRANE OVER EDGE AND INSTALL SHEET METAL GUTTER AND DRIP EDGE AS SHOWN IN 7/A-2.0. REUSE EXISTING DOWNSPOUT.
⑩	CURB FLASHING-REMOVABLE UNIT: REMOVE EXISTING FLASHING MEMBRANE. INSTALL NEW TPO FLASHING UP AND OVER TOP PER DETAIL 13/A-2.0. INSTALL NEW COUNTERFLASHING AND REINSTALL EQUIPMENT.
⑪	CURB FLASHING-NON-REMOVABLE UNIT: REMOVE EXISTING FLASHING MEMBRANE. INSTALL NEW TPO MEMBRANE FLASHING TO POINT JUST BELOW UNIT, FASTEN TOP EDGE WITH TERMINATION BAR AND SEAL, AND INSTALL COUNTERFLASHING. SEE DETAIL 14/A-2.0.
⑫	FLUE STACK PENETRATION: INSTALL NEW SHEET METAL CONE FLASHINGS AND STORM COLLARS AND FLASH WITH TPO MEMBRANE. PER DETAIL 11/A-2.0.
⑬	PIPE PENETRATIONS: REMOVE EXISTING PIPE FLASHINGS AND REPLACE WITH PIPE WRAP FLASHING. SEE DETAIL 9/A-2.0.
⑭	PLUMBING VENT FLASHING: REMOVE EXISTING PLUMBING VENT FLASHINGS. EXTEND PIPE TO 8" MINIMUM WHERE NEEDED. INSTALL NEW PRE-FORMED TPO BOOT FLASHING. SEE DETAIL 10/A-2.0.
⑮	DOOR THRESHOLD: REMOVE EXISTING DOOR THRESHOLD AND FLASHINGS. EXTEND TPO FLASHING UP AND OVER CONCRETE CURB AND INSTALL NEW THRESHOLD FLASHING IN A BED OF SEALANT, SEE DETAIL 15/A2.0.
⑯	ALTERNATE 1: DEMOLISH CHIMNEY FLUSH WITH THE TOP OF AREA 1 PARAPET. INSTALL METAL CAP OVER CHIMNEY.

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PROJECT

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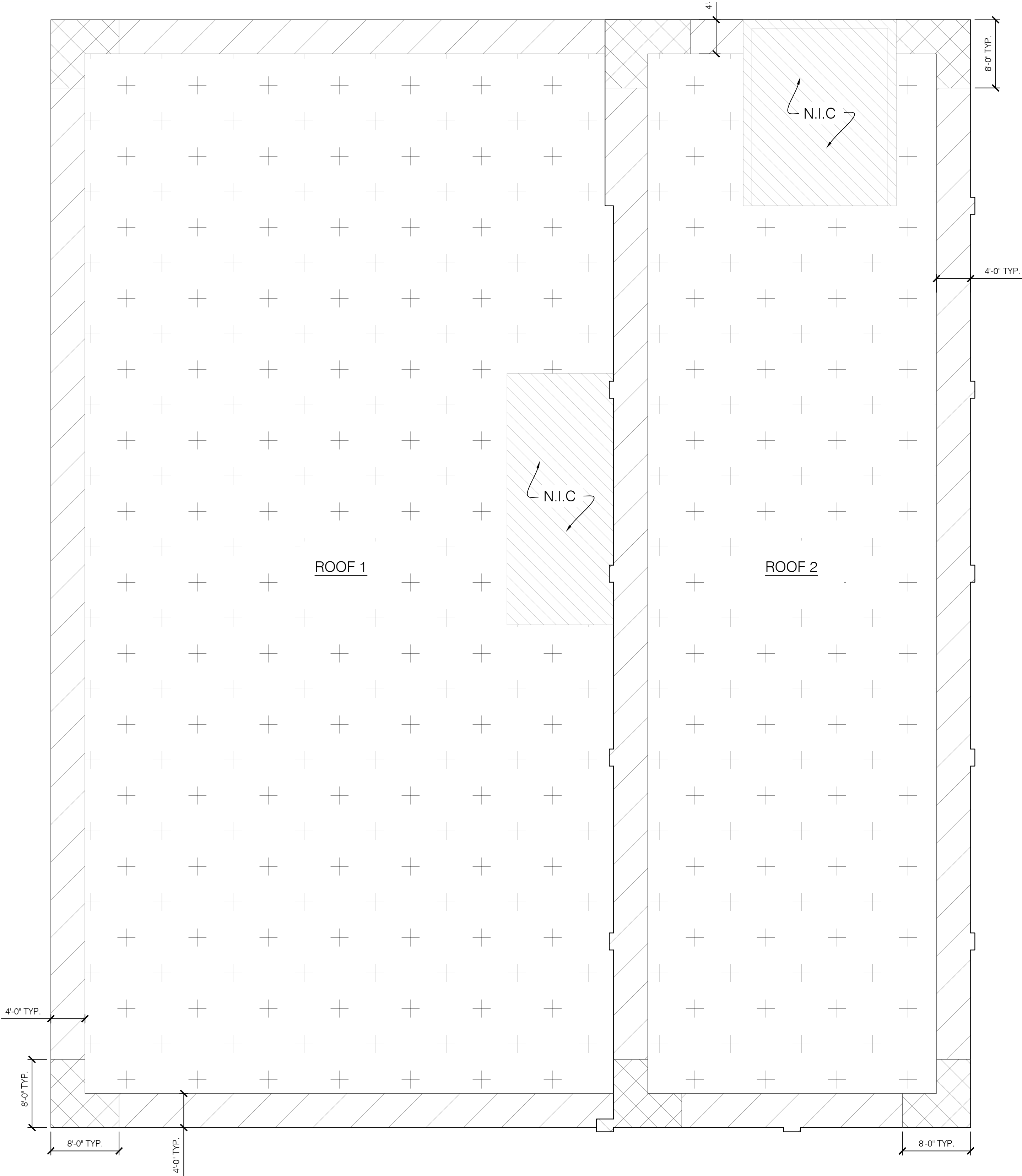
1	8/20/2026	For Bid
MARK	DATE	DESCRIPTION
THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)		
PROJECT NO.	2026.1737	
DATE	August 20, 2026	
DRAWN	EMW	
REVIEWED	PDS	
SHEET TITLE	Roof Plan	
SHEET NO.	A-1.0	

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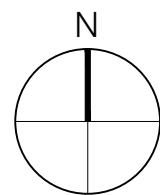
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Will County Court Annex_Roof Replacement.7.27.dwg

ROOF SYSTEM WIND UPLIFT PRESSURES					
ZONE		TYPE	ZONE WIDTH	ASD UPLIFT	2X SAFETY FACTOR
		1	INTERIOR	FIELD	22.4 PSF
		2	PERIMETER	4 FEET	35.2 PSF
		3	CORNER	8 FEET	48.0 PSF

NOTE: BASIS OF DESIGN IS ASCE 7-22 WITH A DESIGN WIND SPEED OF 17 MPH., EXPOSURE B. ROOF SYSTEM SHALL BE A TESTED ASSEMBLY THAT MEETS OR EXCEEDS THE DESIGN UPLIFT PRESSURES PROVIDED.



1 Wind Uplift Roof Plan
Scale: 1/8" = 1'-0"



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PROJECT NO. 2026.1737

DATE August 20, 2026

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REVIEWED PDS

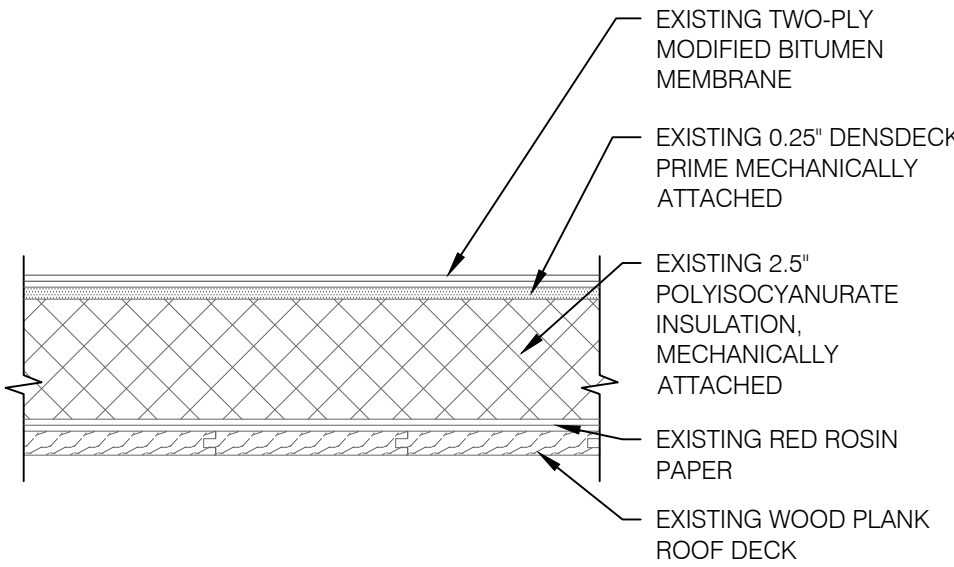
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Wind Uplift Plan

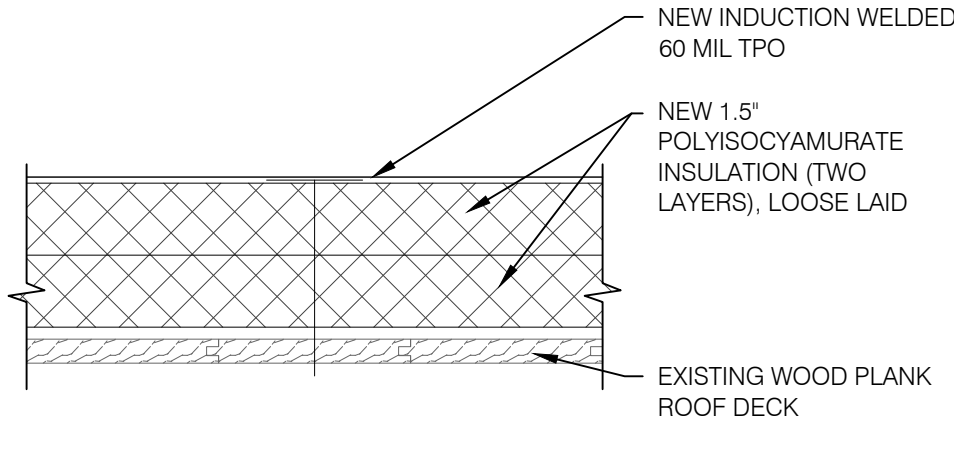
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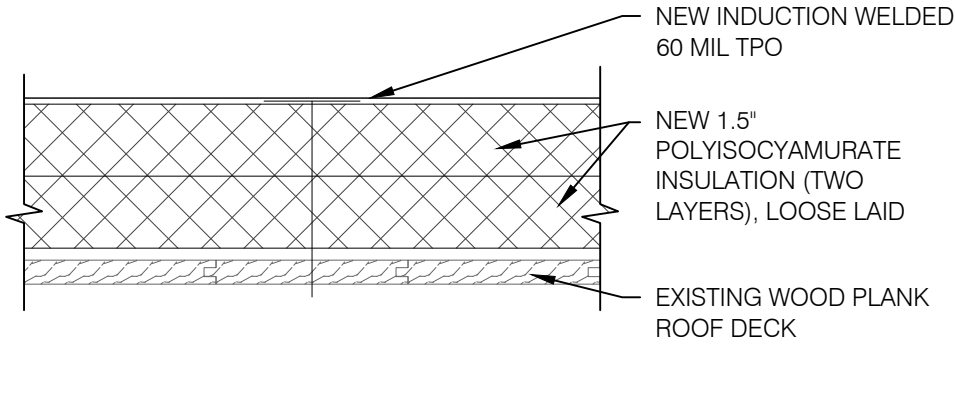
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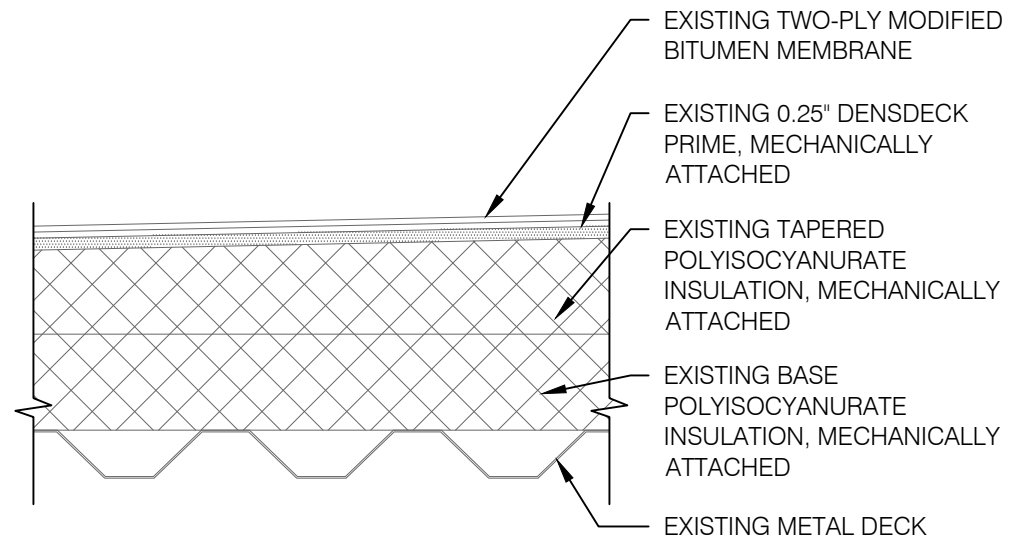
1 Existing Roof System - Roof 1
Scale: 3" = 1'-0"



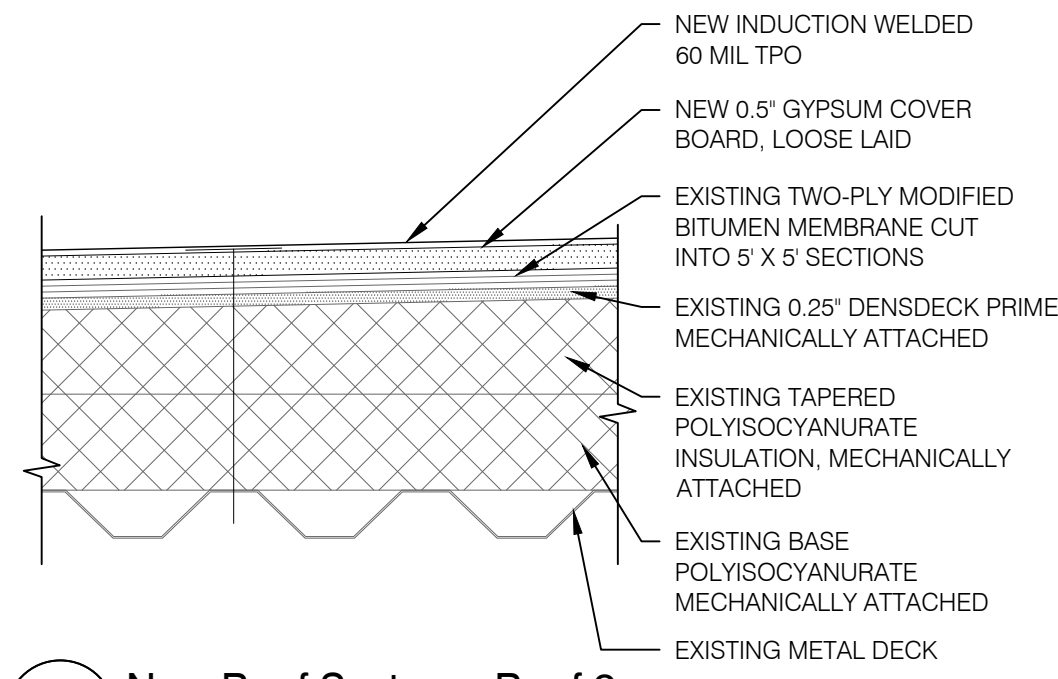
2 New Roof System - Roof 1
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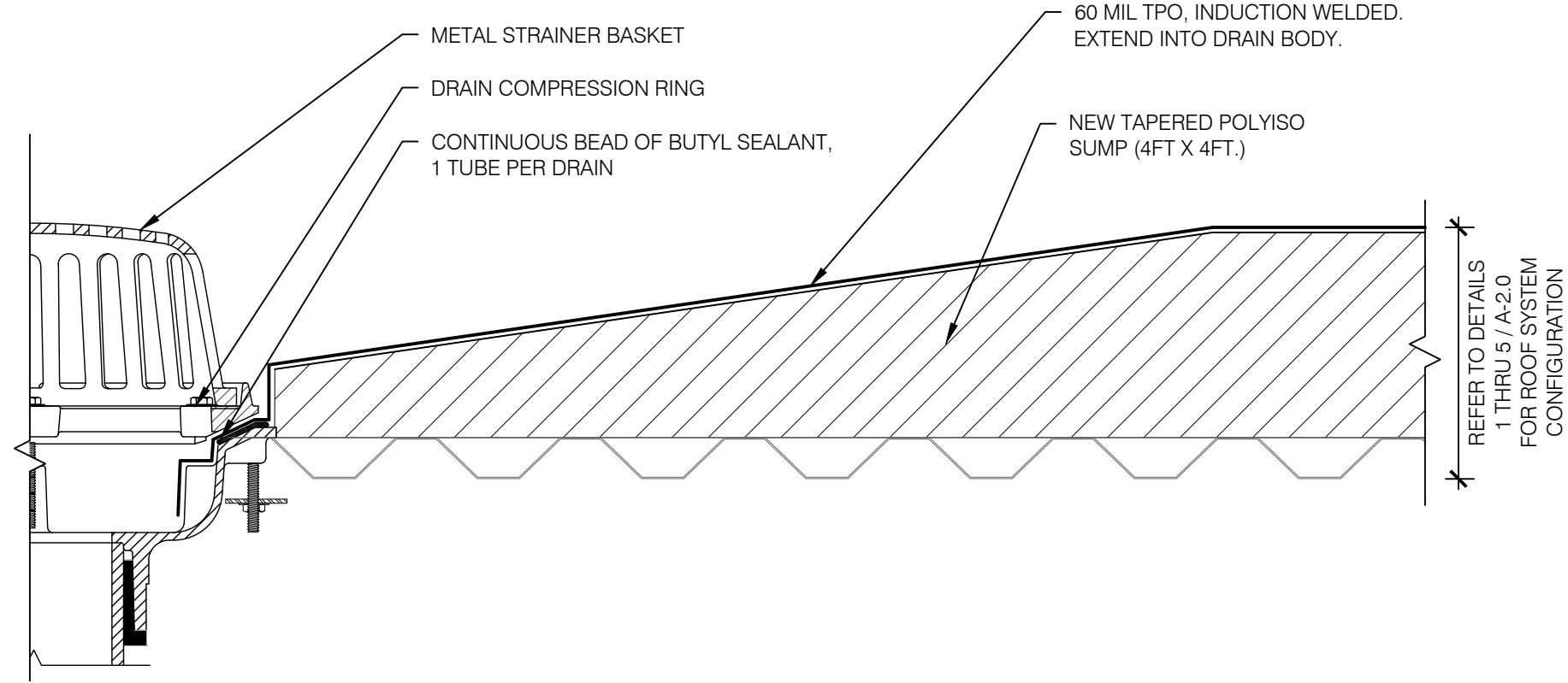
3 New Roof System - Roof 1A and 1B
Scale: 3" = 1'-0"



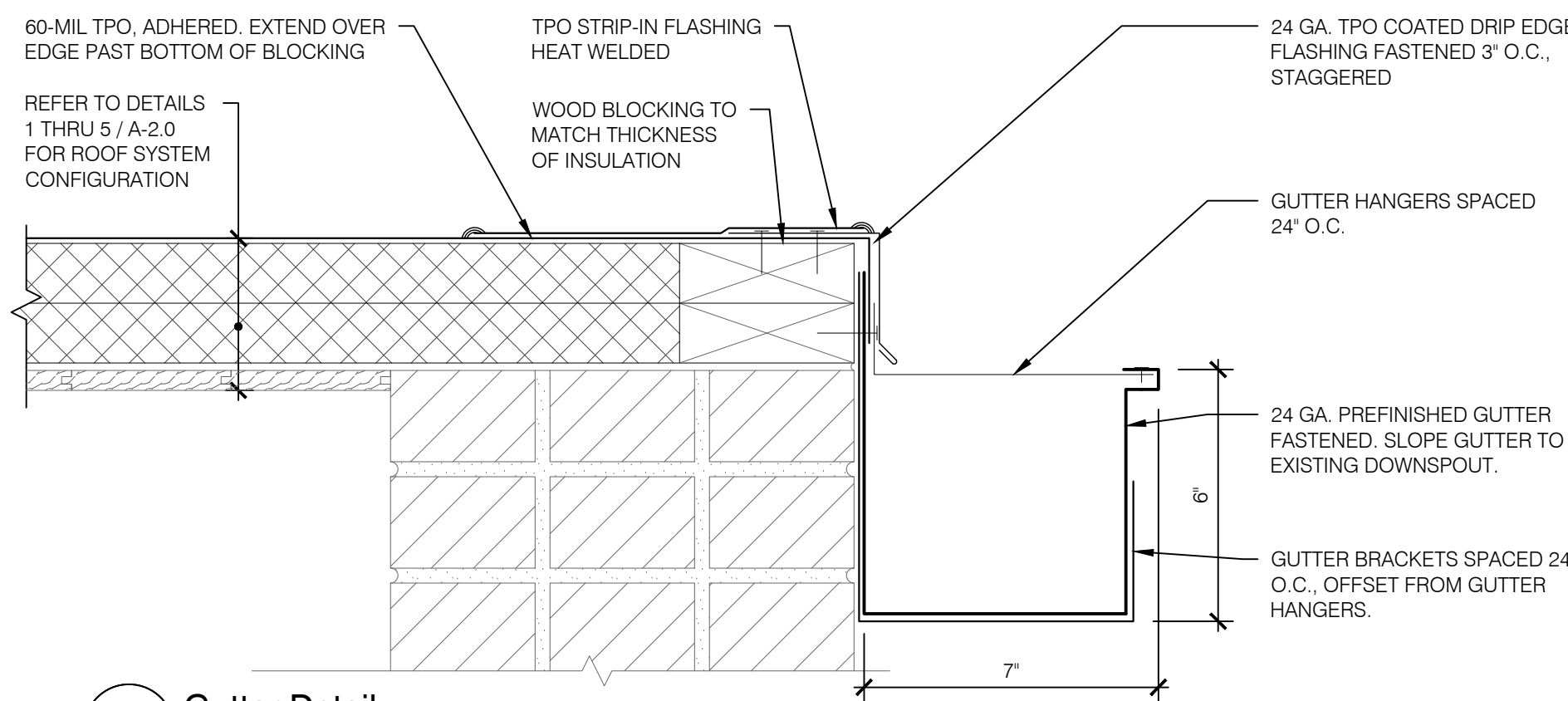
4 Existing Roof System - Roof 2
Scale: 3" = 1'-0"



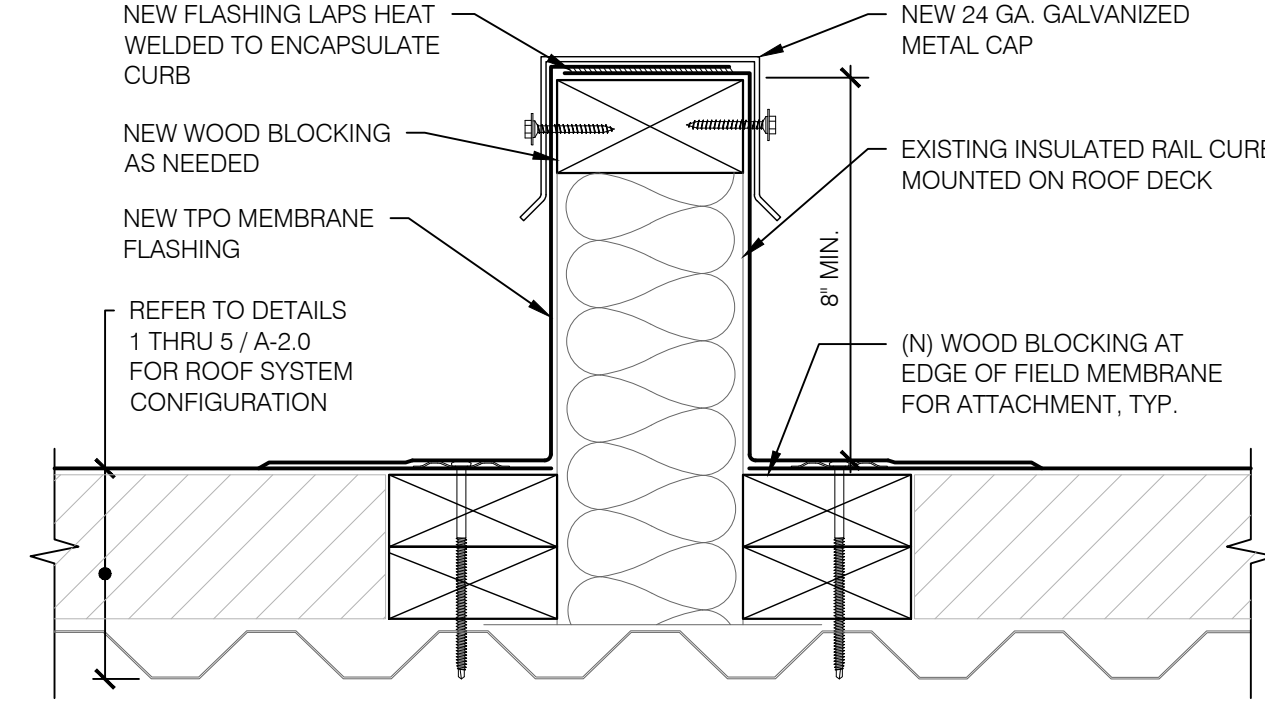
5 New Roof System - Roof 2
Scale: 3" = 1'-0"



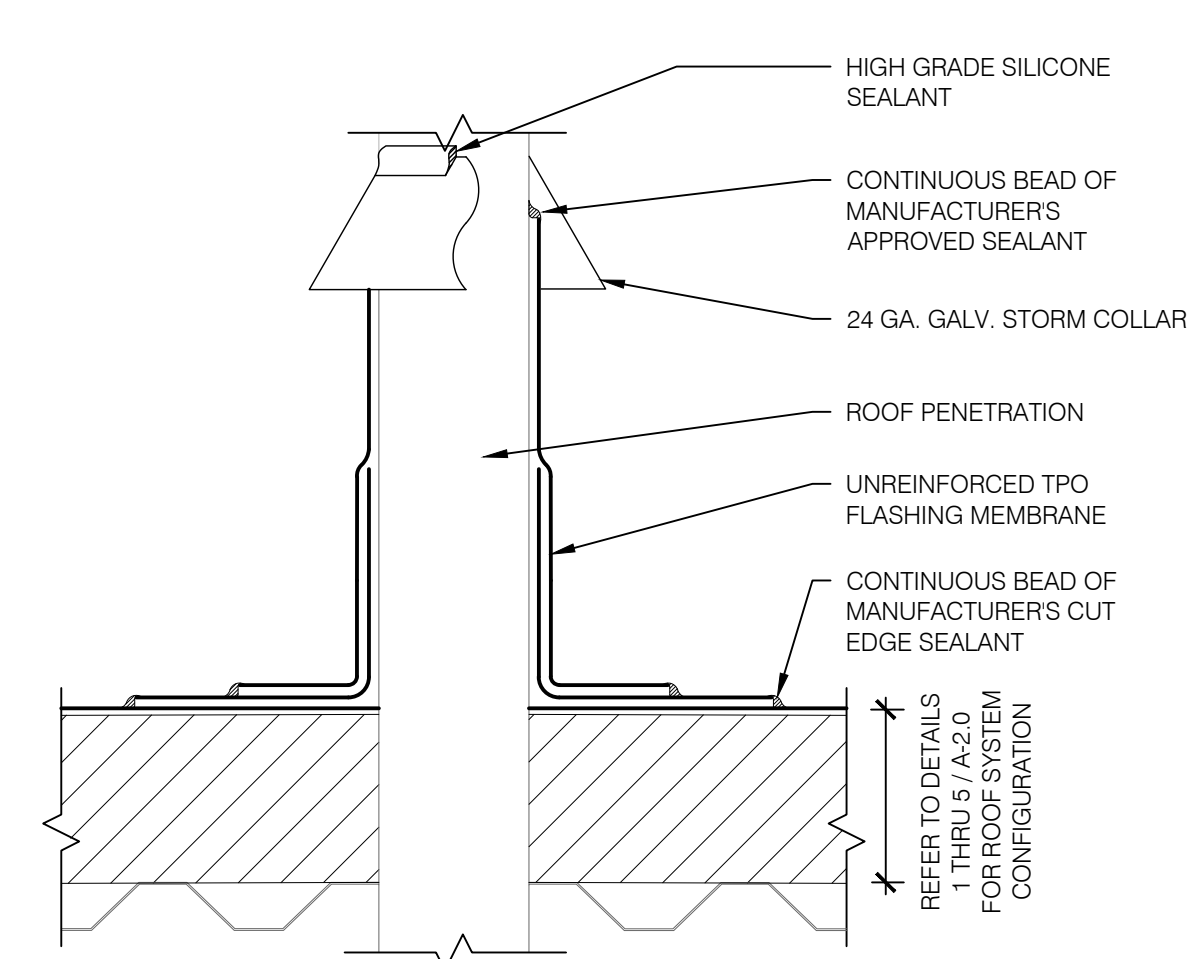
6 Roof Drain Detail
Scale: 3" = 1'-0"



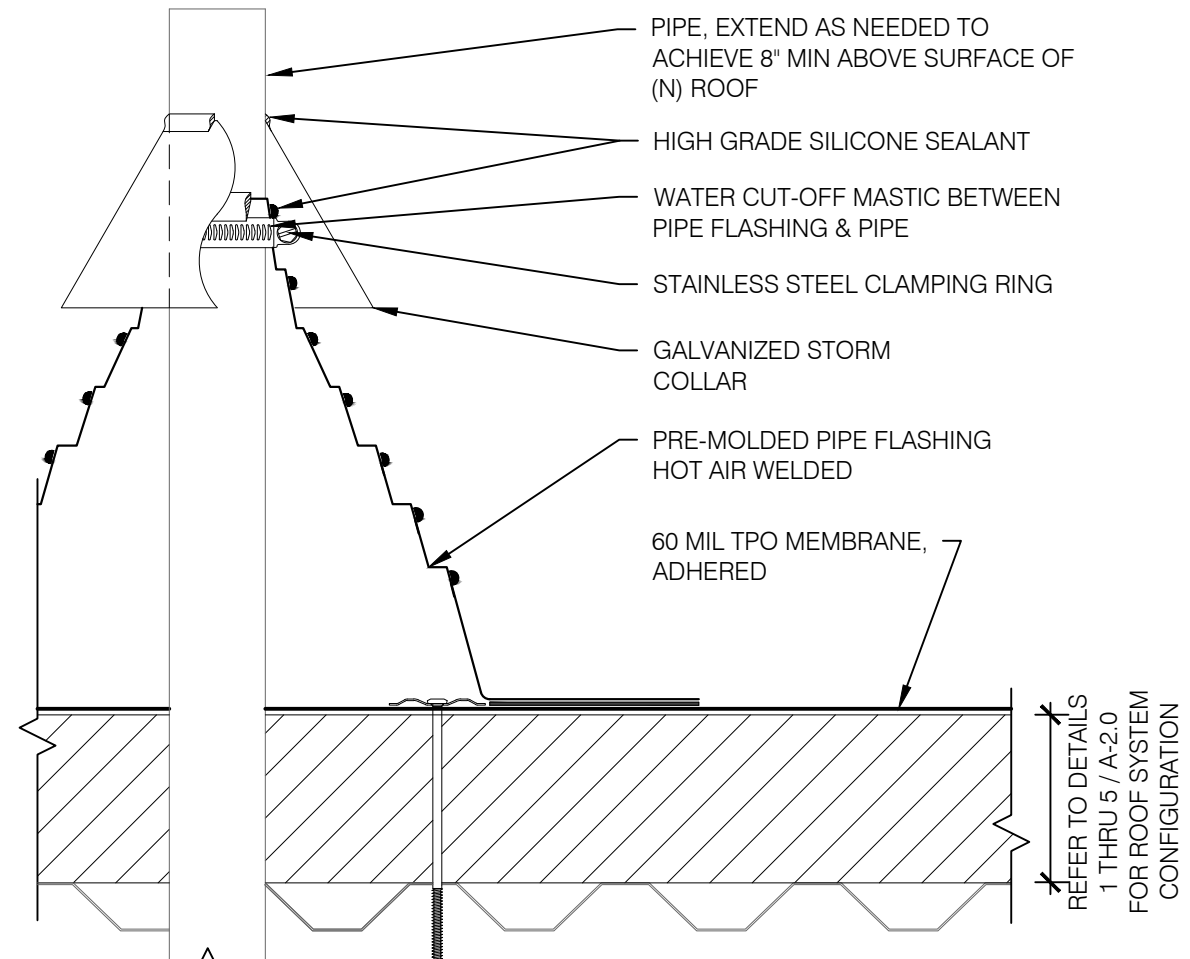
7 Gutter Detail
Scale: 3" = 1'-0"



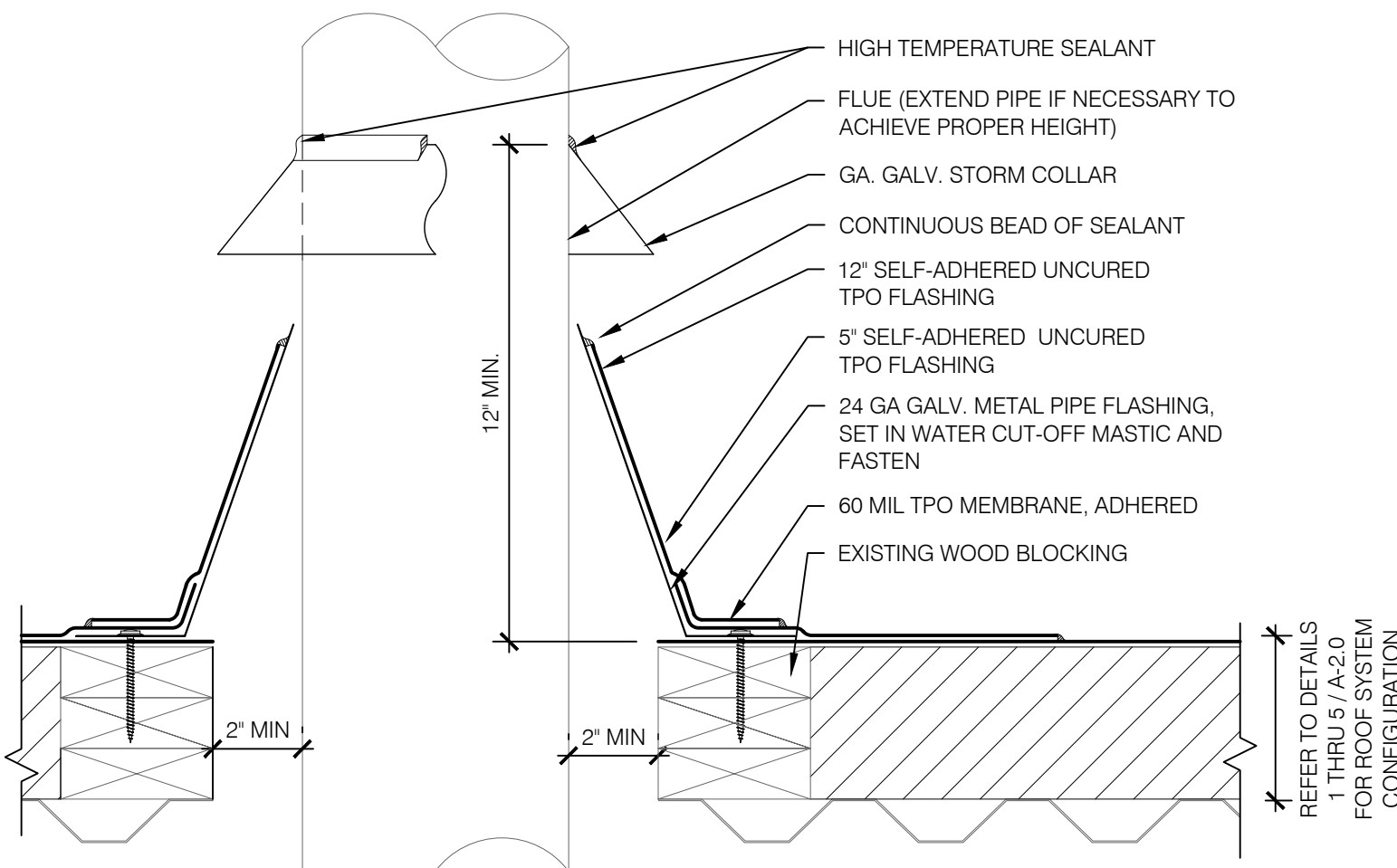
8 Rail Curb Detail
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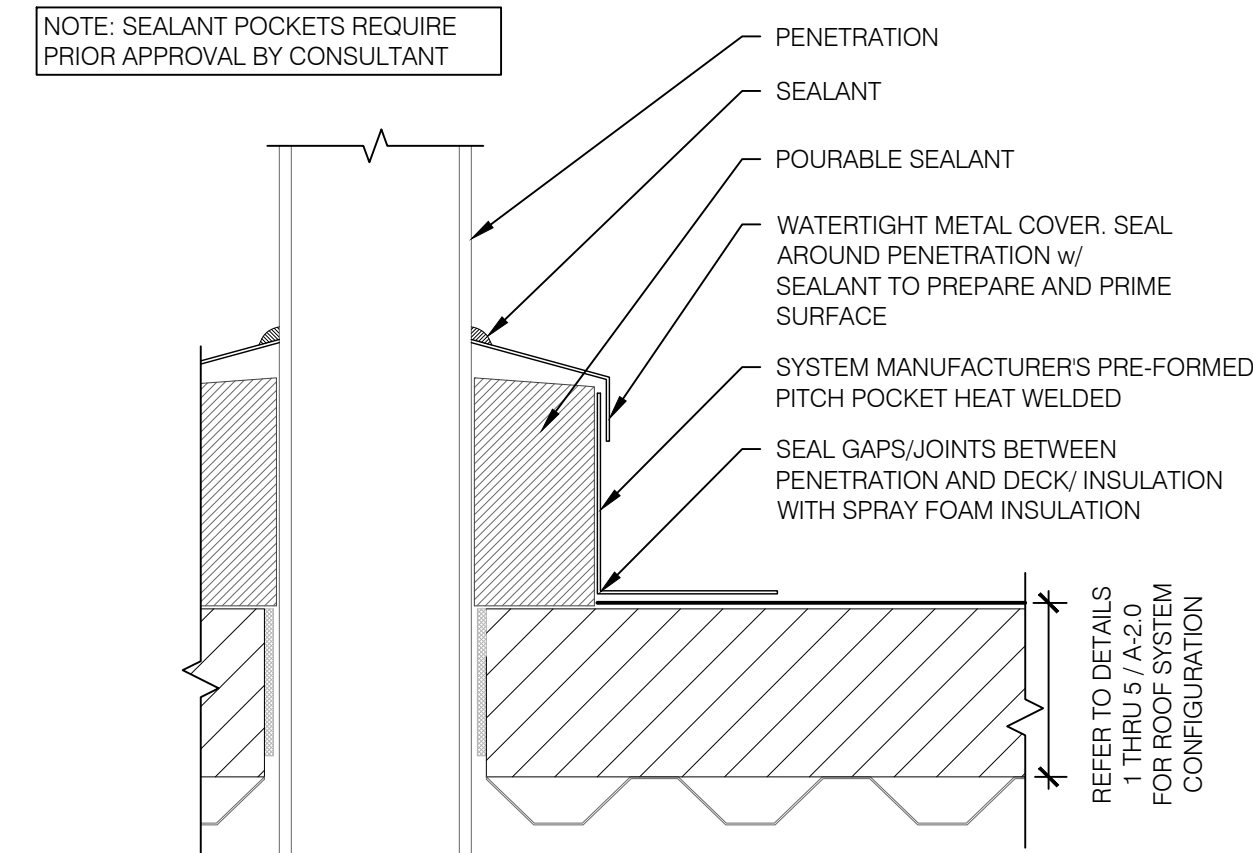
9 Pipe Wrap Detail
Scale: 3" = 1'-0"



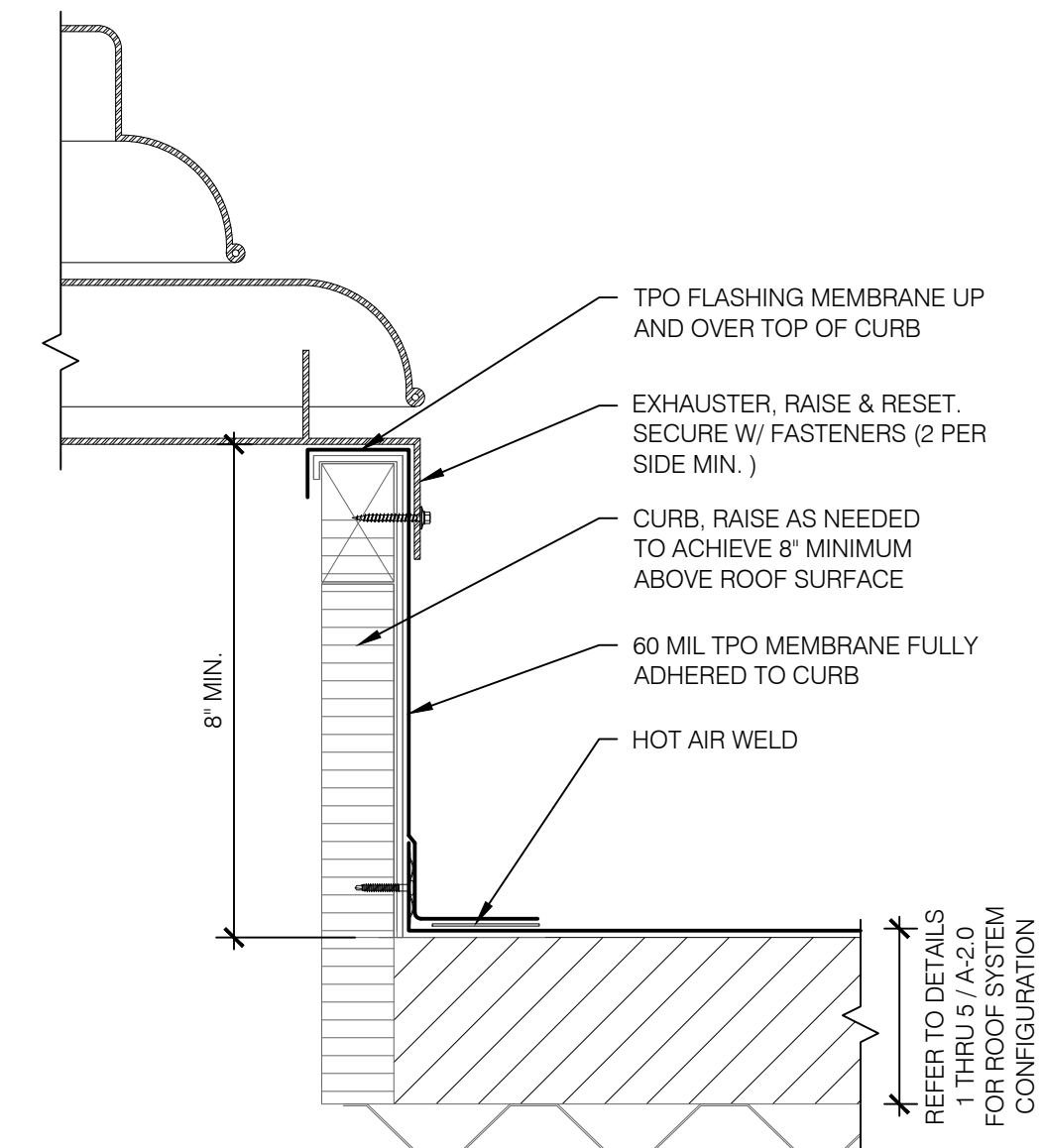
10 Pipe Boot Detail
Scale: 3" = 1'-0"



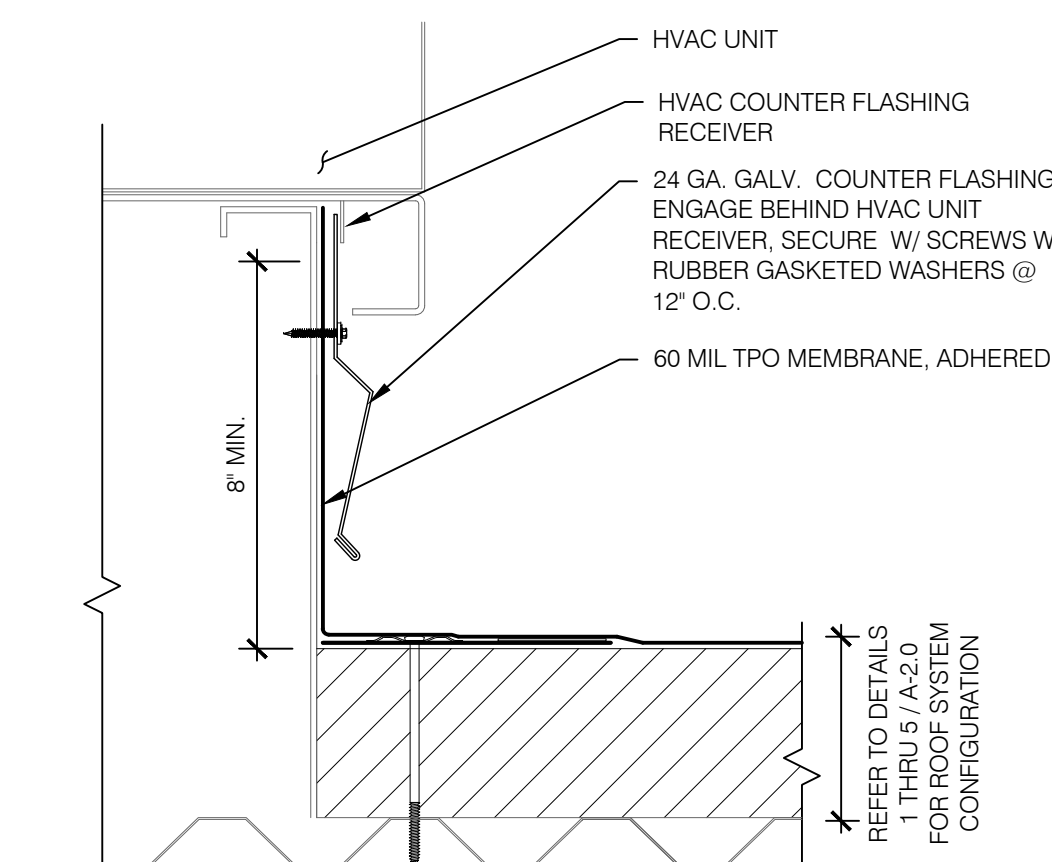
11 Flue Pipe Detail
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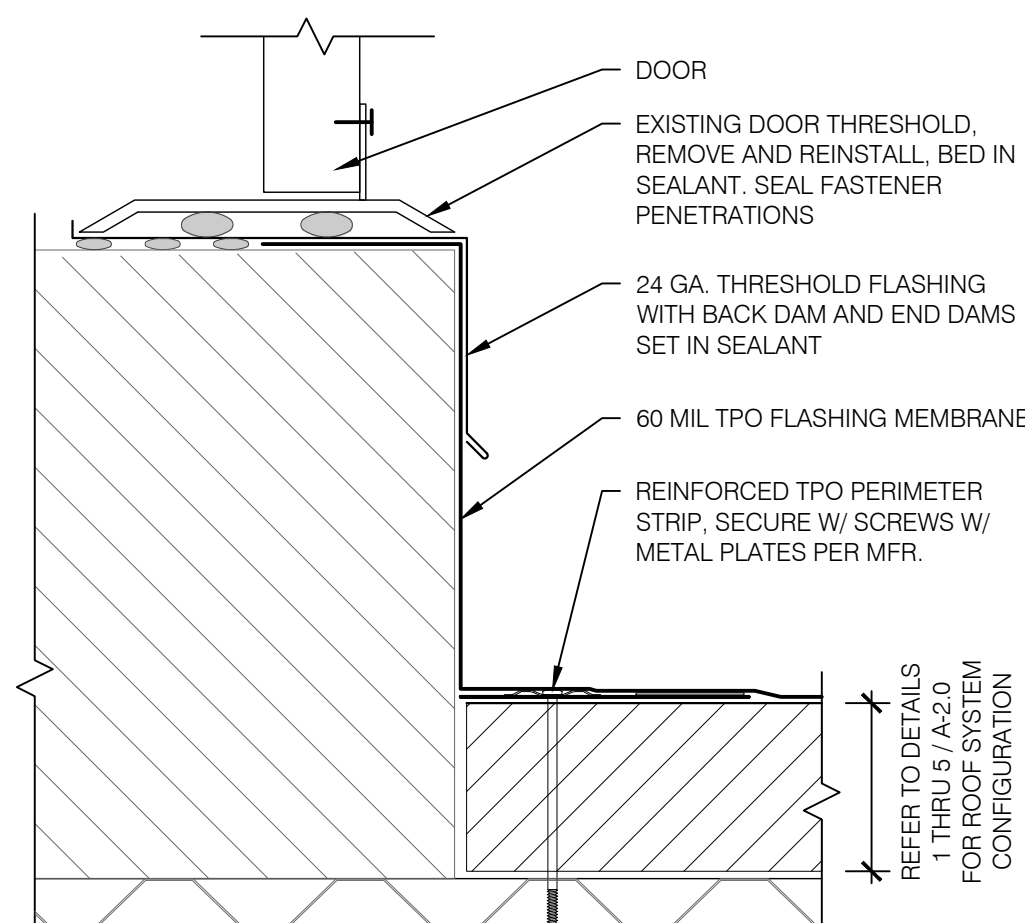
12 Sealant Pocket Detail
Scale: 3" = 1'-0"



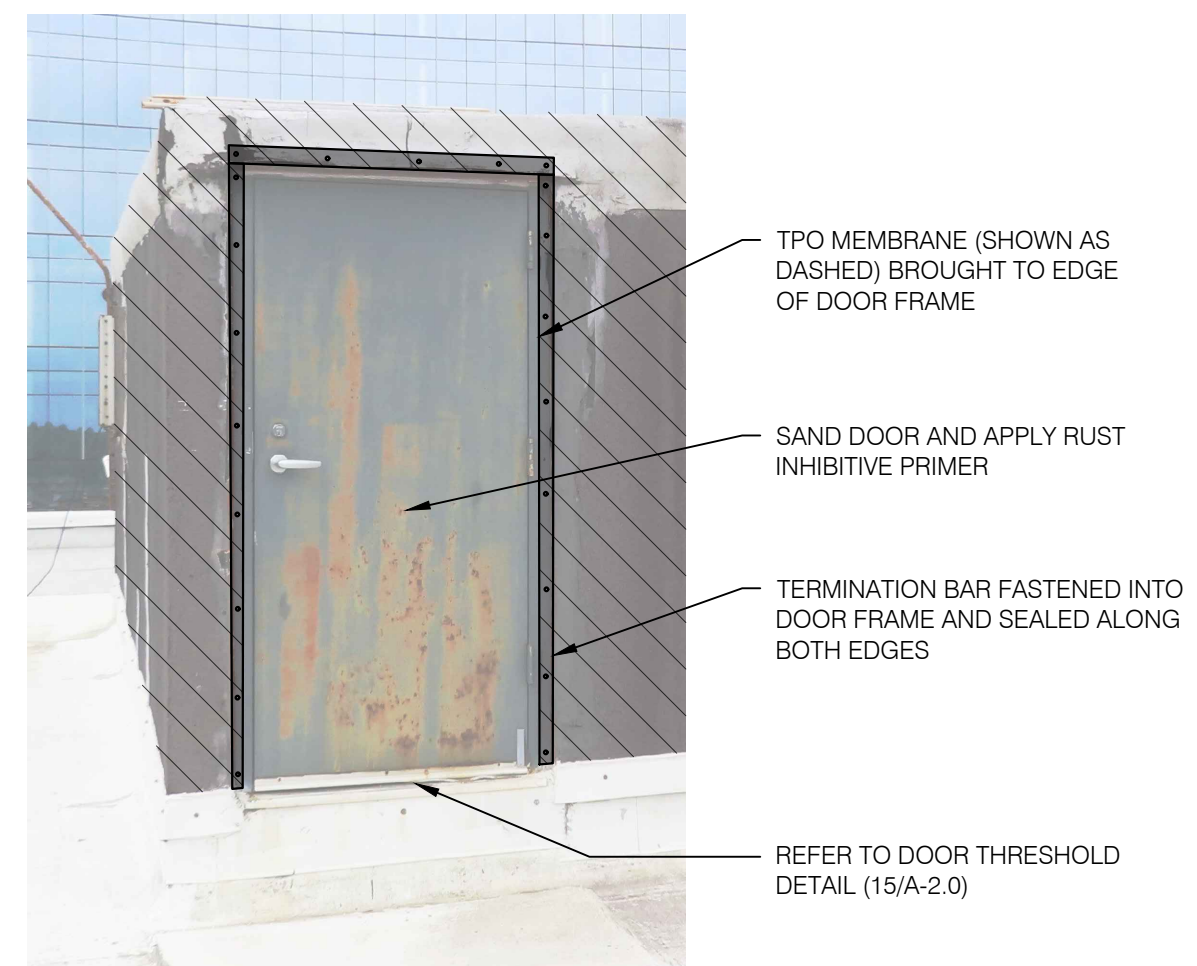
13 Removeable Unit Detail
Scale: 3" = 1'-0"



14 Non-Removeable Unit Detail
Scale: 3" = 1'-0"



15 Door Threshold Detail
Scale: 3" = 1'-0"



16 South Penthouse Door Detail
Scale: Not to Scale



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PROJECT

Roofing Rehabilitation
Will County Courthouse
Annex Building

57 North Ottawa Street
Joliet, Illinois 60432

CLIENT

Will County
Purchasing Department

302 North Chicago Street
Joliet, Illinois 60432

MARK	DATE	DESCRIPTION
1	8/20/2026	For Bid

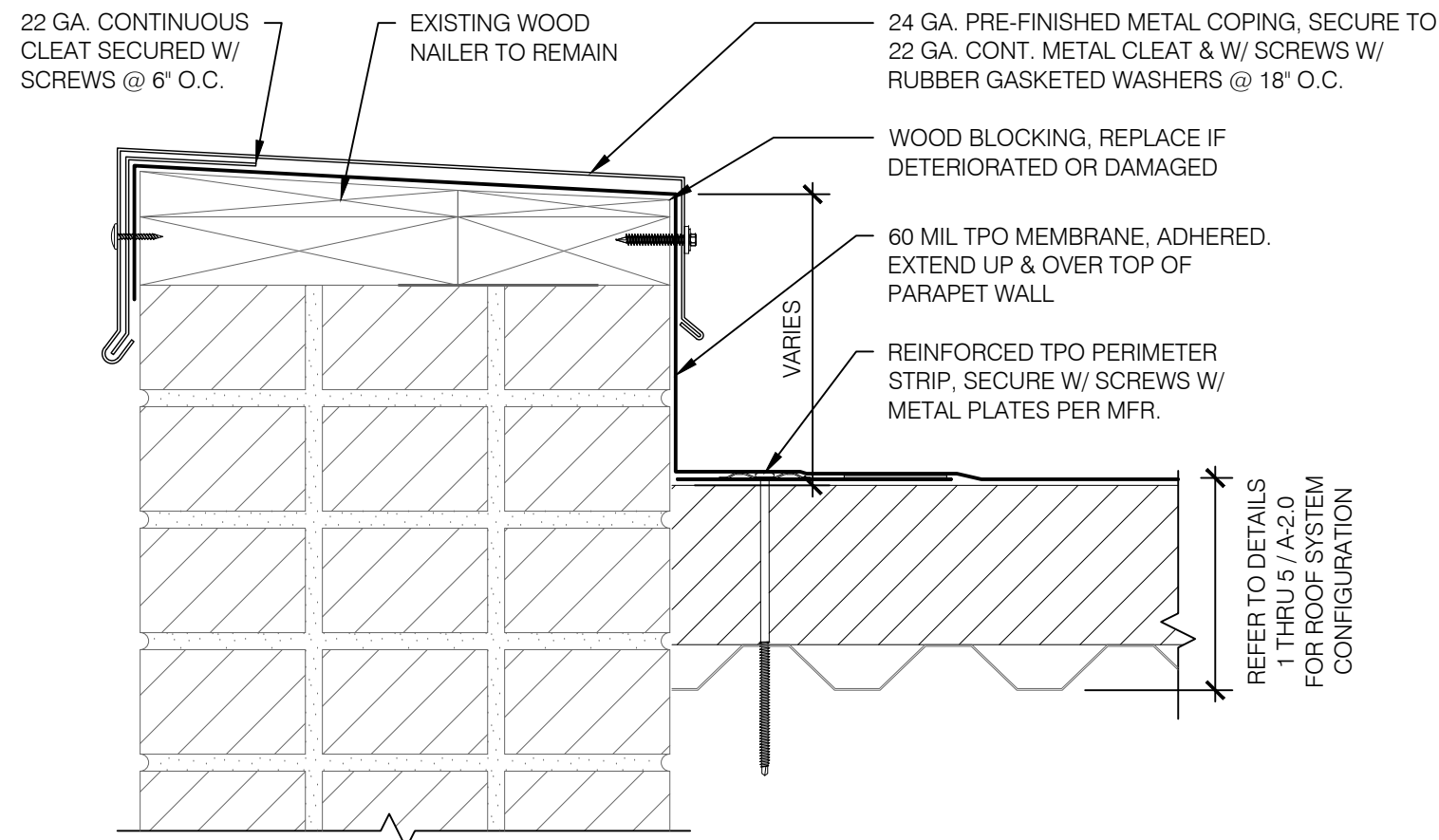
0' 1' 2' 3'
THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)

PROJECT NO.	2026.1737
DATE	August 20, 2026
DRAWN	EMW
REVIEWED	PDS
SHEET TITLE	Roof Details

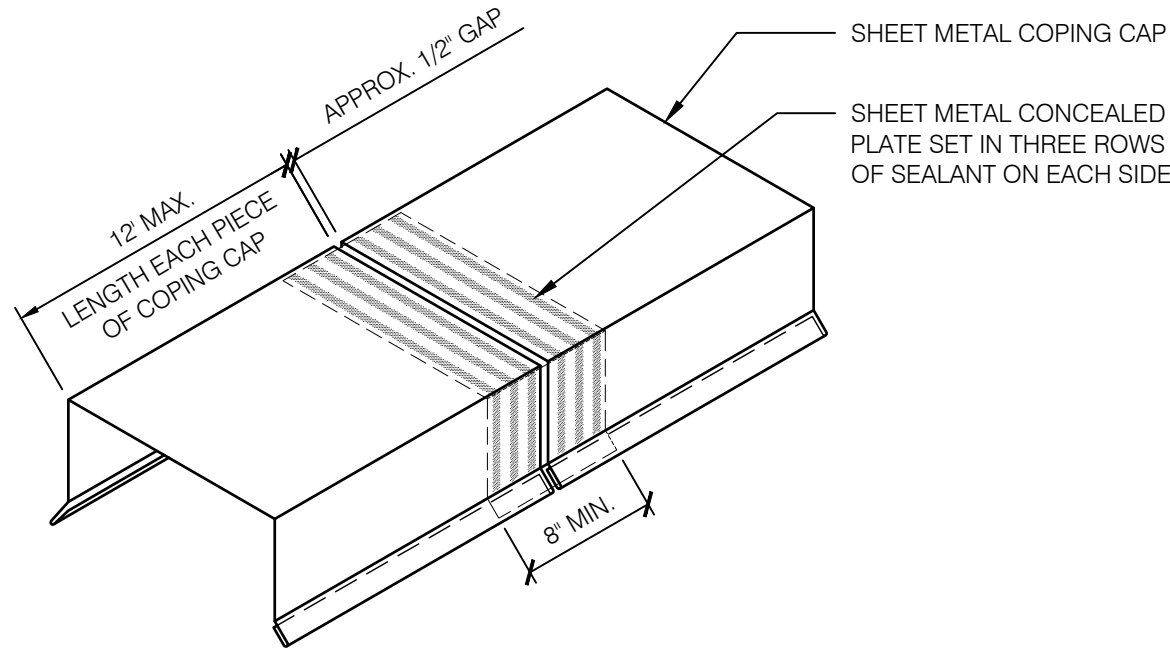
SHEET NO.

A-2.0

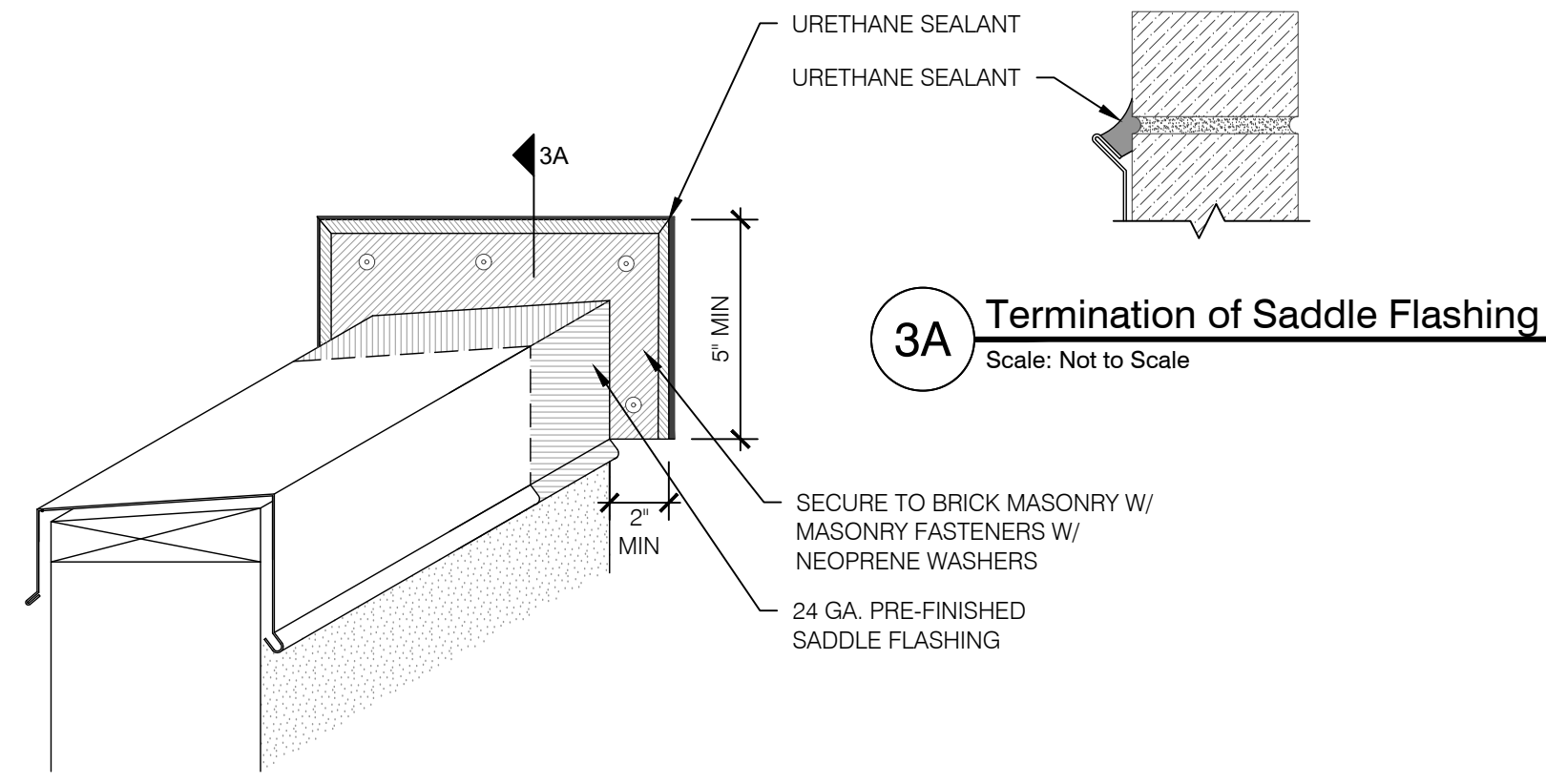
Plotted: 8/13/2026 11:53 AM by Blain, Nathan
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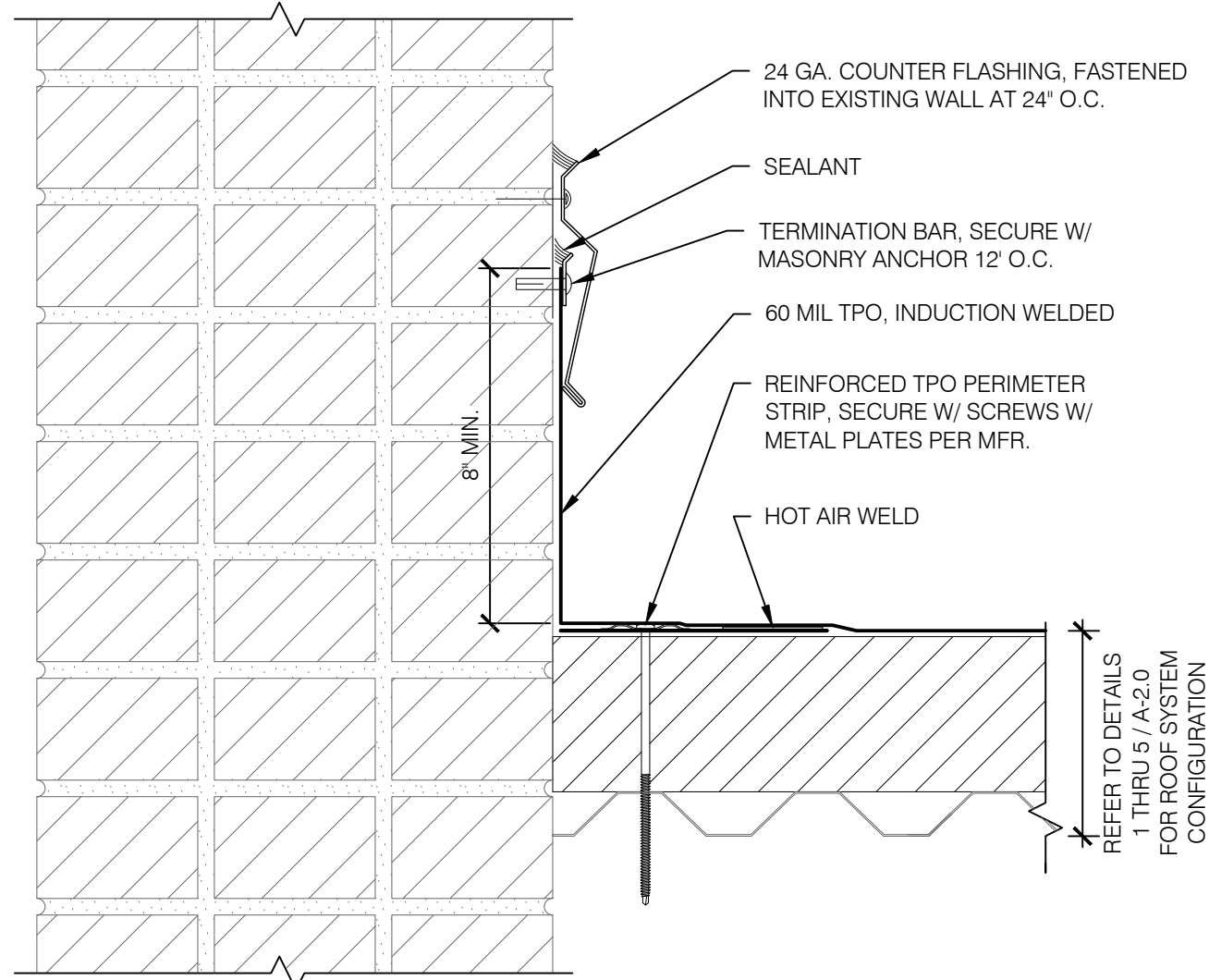
1 Parapet Detail
Scale: 3" = 1'-0"



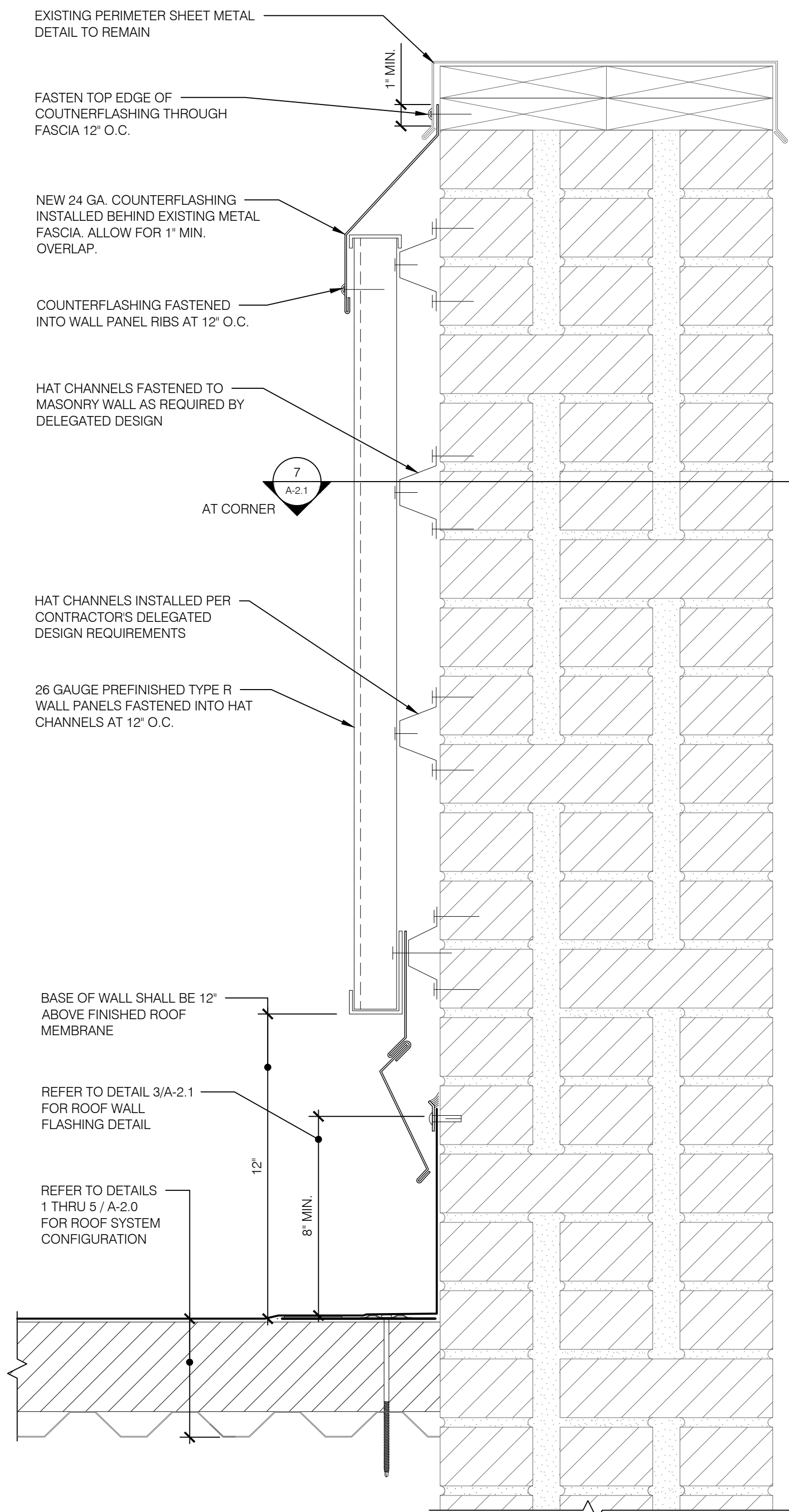
2 Coping Profile Detail
Scale: Not to Scale



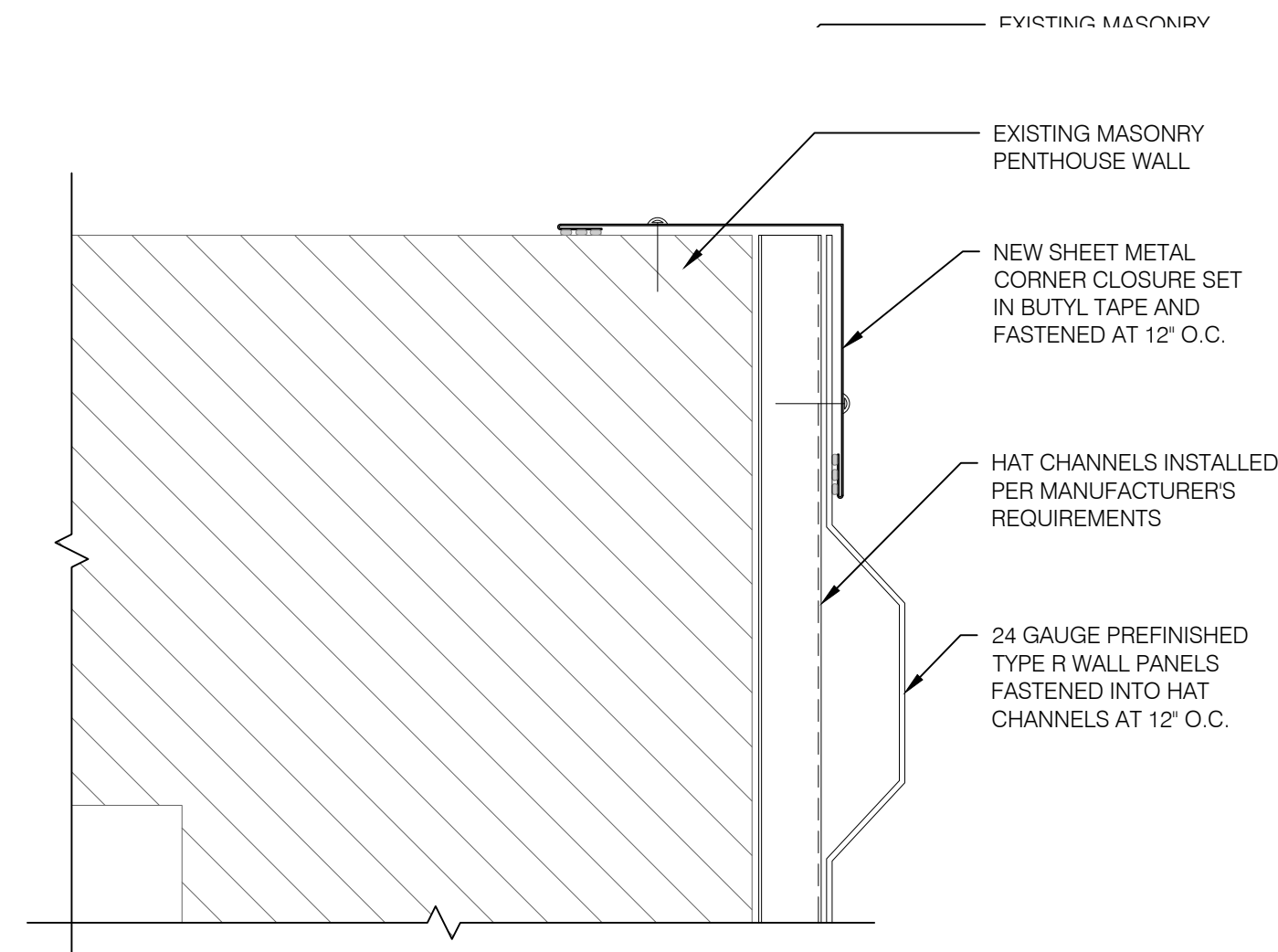
3 Coping to Wall Detail
Scale: Not to Scale



4 Base of Wall Detail
Scale: 3" = 1'-0"



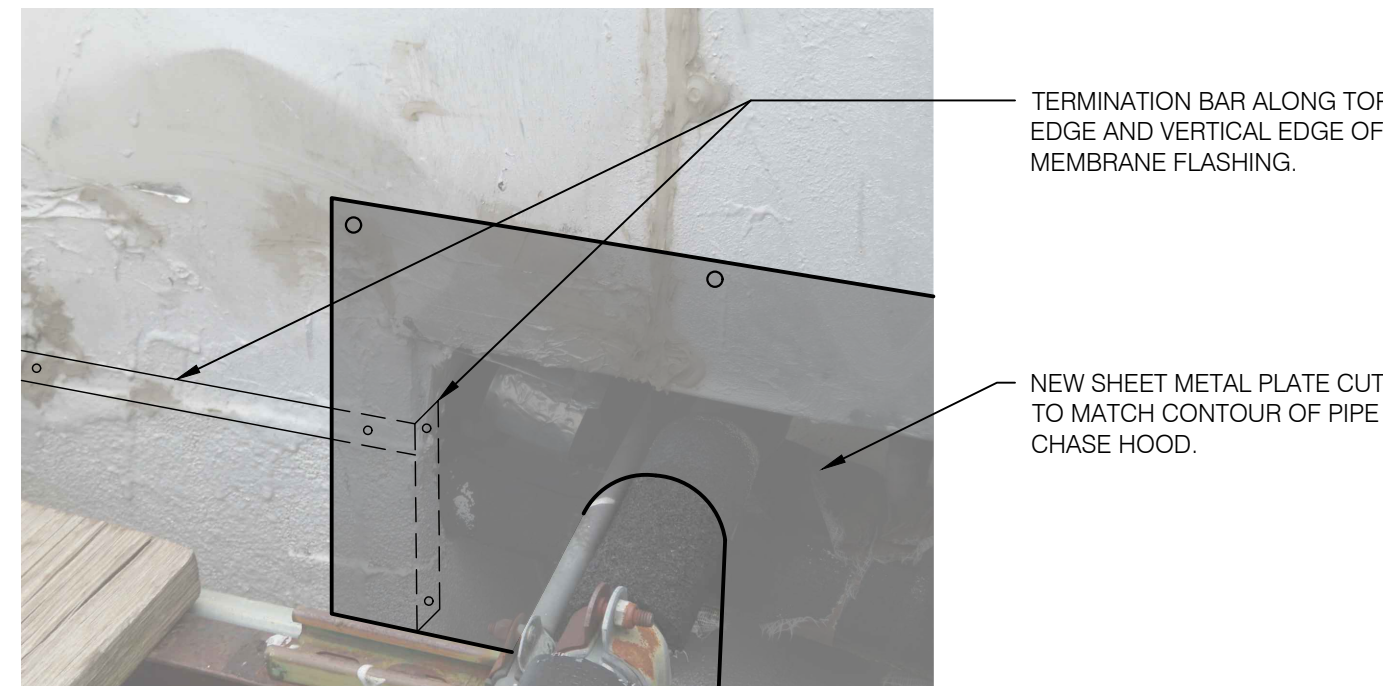
6 Wall Panel at Penthouse Section - Roof 2
Scale: 3" = 1'-0"



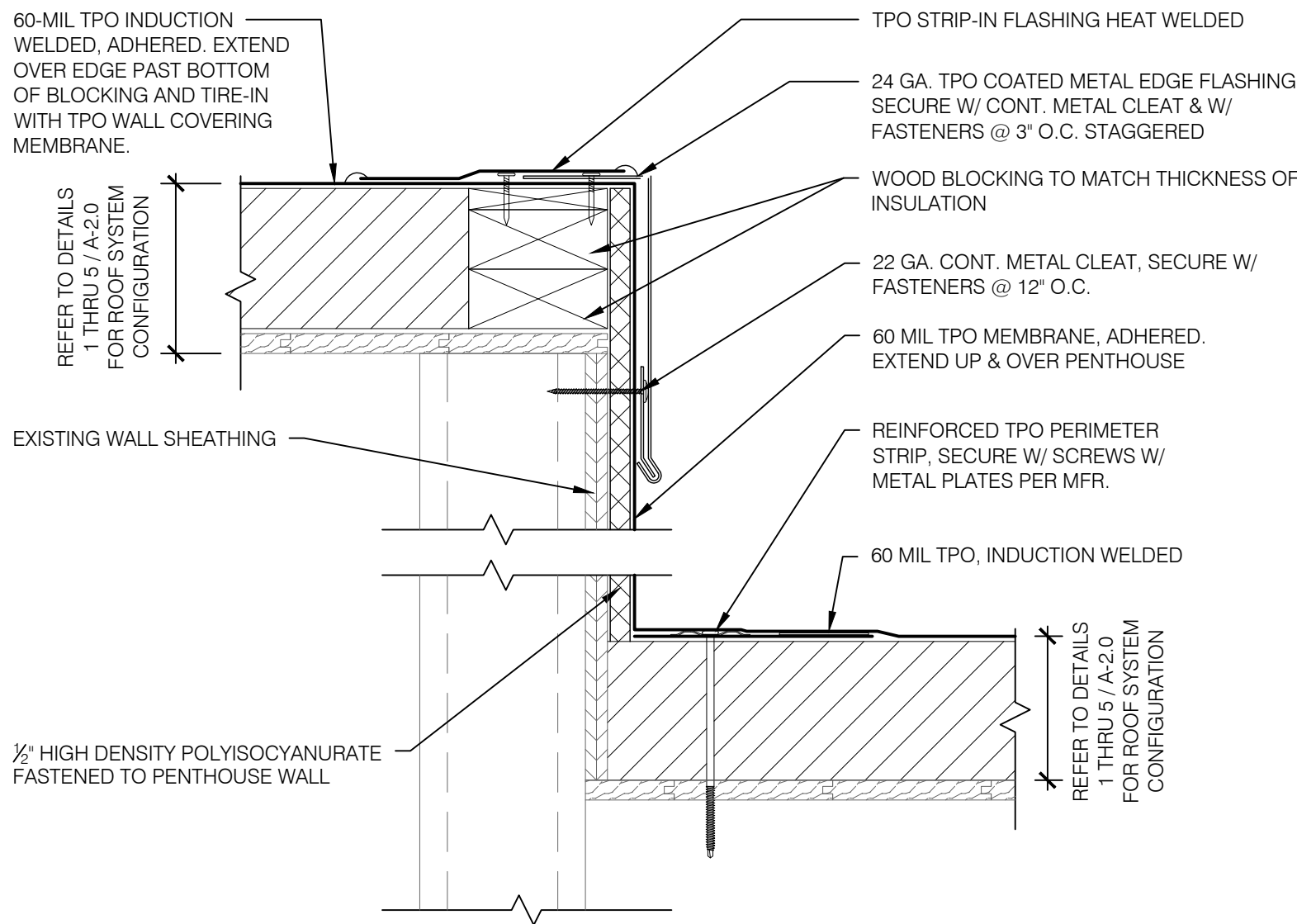
7 Wall Panel Termination at Corner Plan View
Scale: 3" = 1'-0"



8 Conduit Through Curb
Scale: Not to Scale



9 Pipe Chase Detail
Scale: Not to Scale



5 Penthouse Detail - Roof 1A and 1B
Scale: 3" = 1'-0"



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Roof Details

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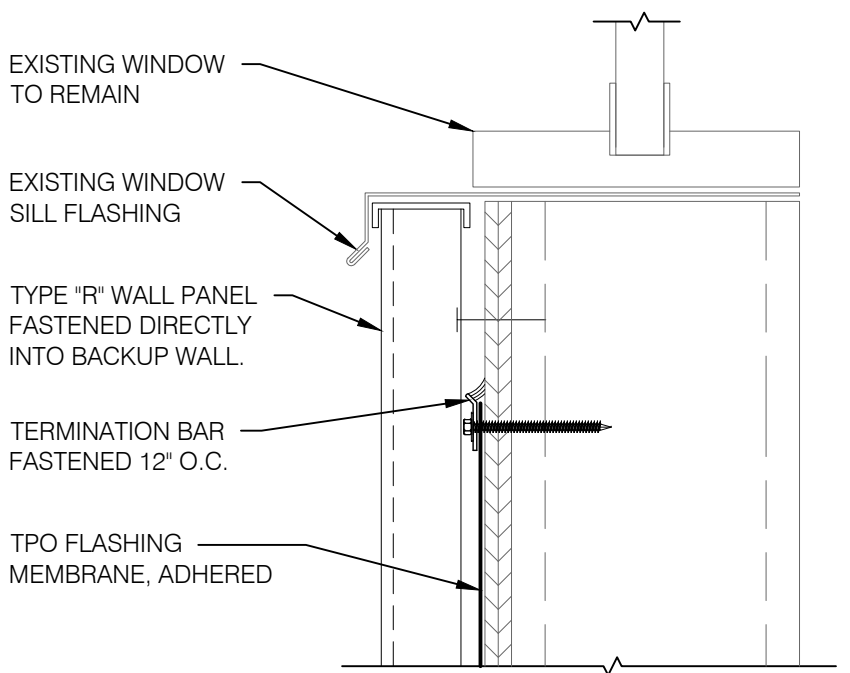
A-2.1

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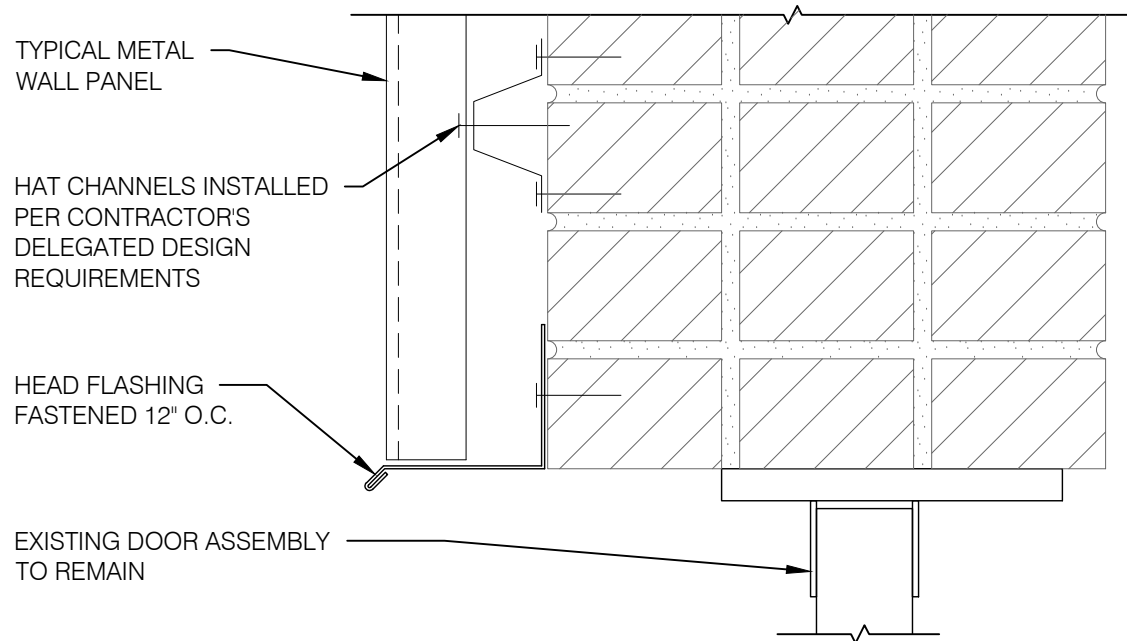


- AREA TO BE FILLED-IN WITH METAL PANELS PER DETAIL 4/A-2.2
- AREA TO BE FILLED-IN WITH NEW STUCCO PER DETAIL 2/A-2.2

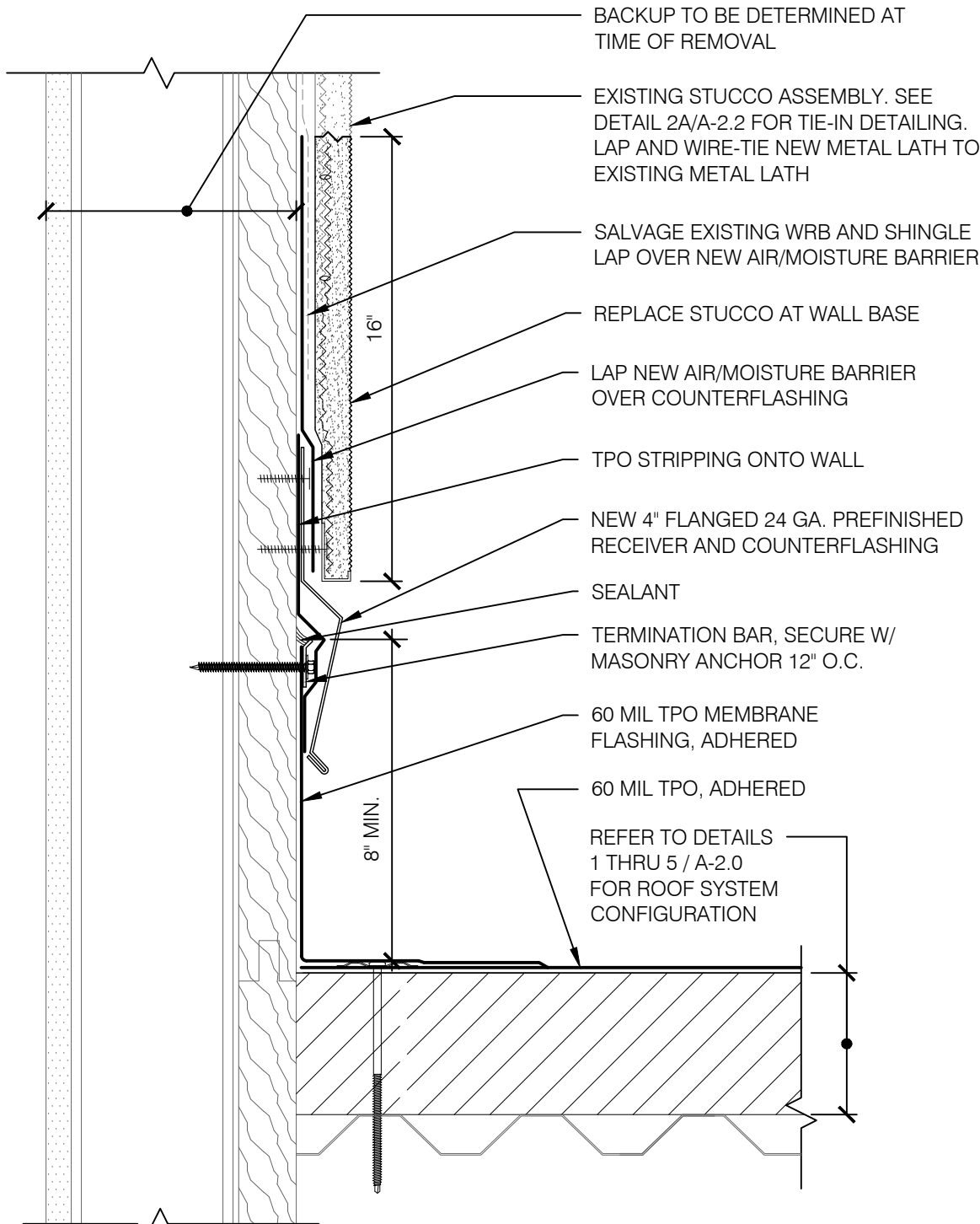
1 Scope at South Rising Wall
Scale: Not to Scale



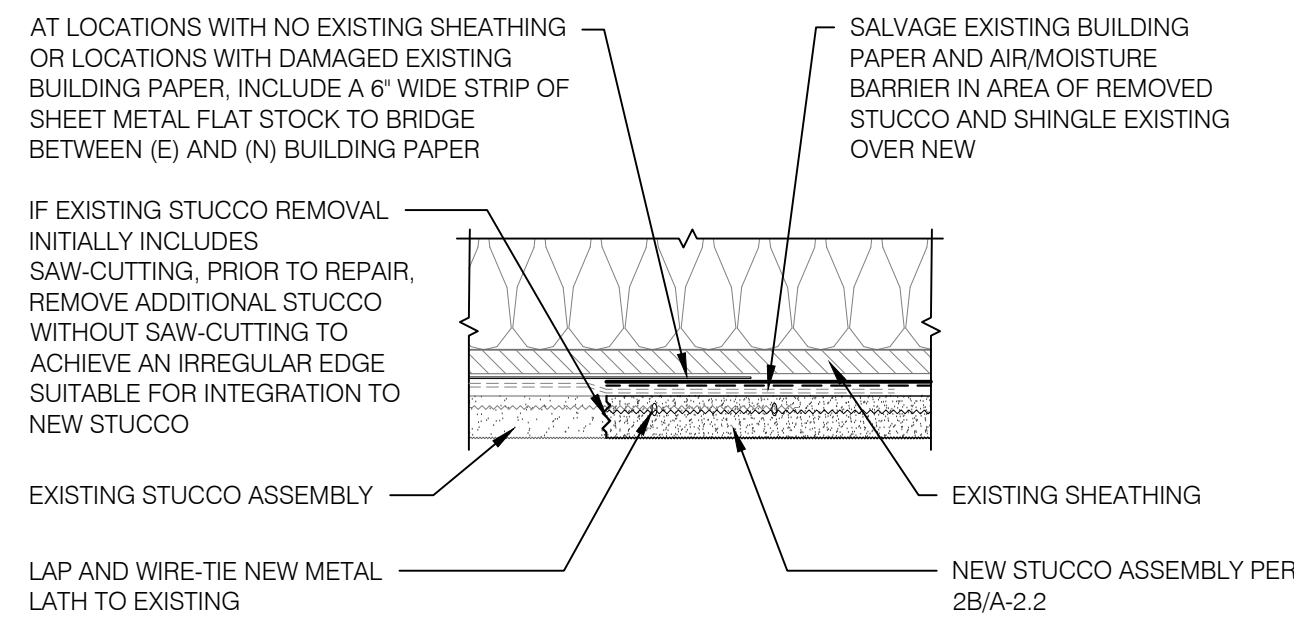
4 Metal Wall Panels at Rising Walls
Scale: 3\"/>



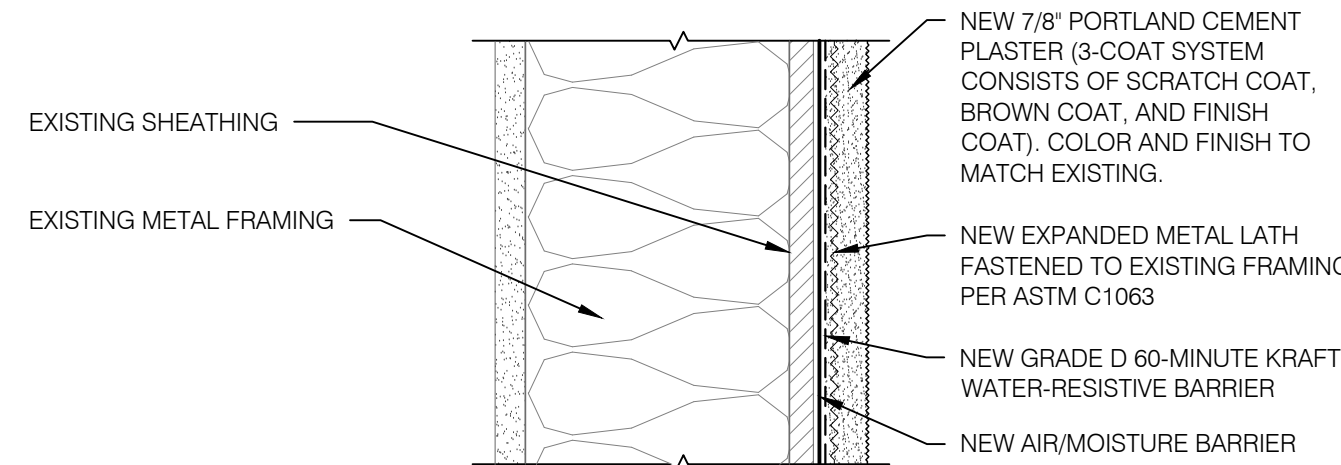
5 Metal Wall Panel Detail at Door Head
Scale: 3\"/>



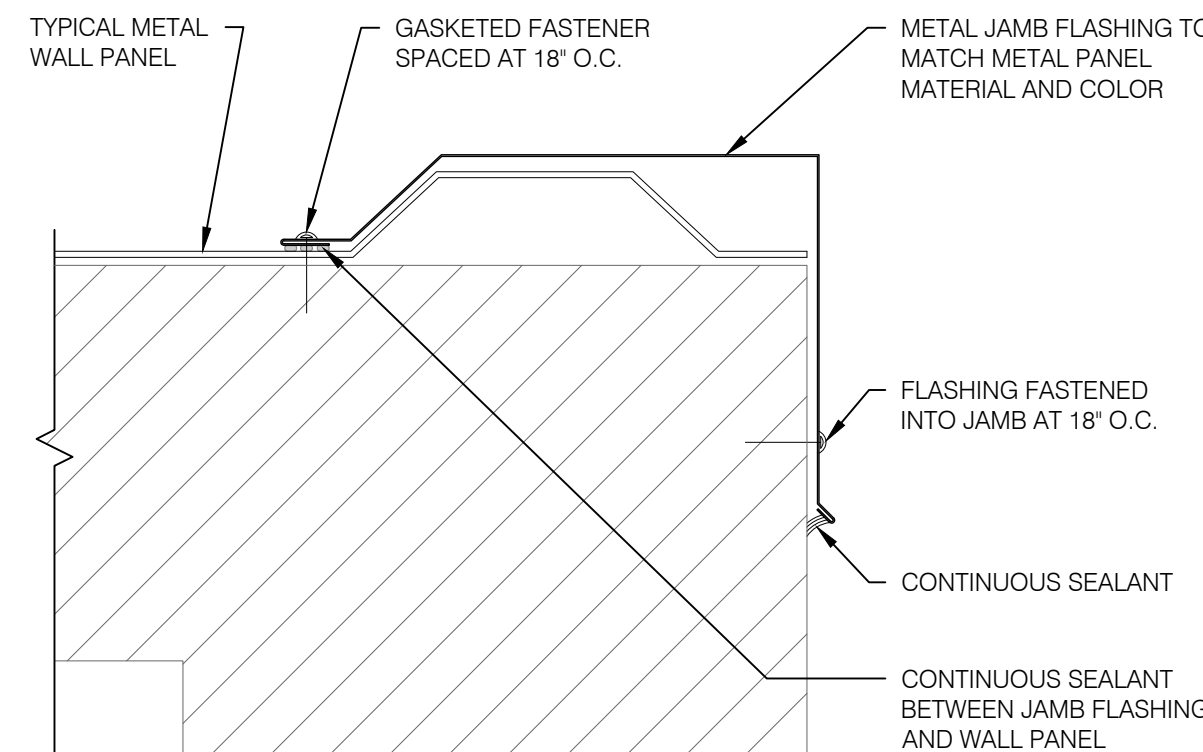
2 Wall Flashing Section Detail at Stucco
Scale: 3\"/>



3A Tie-In Detail to Existing Stucco Plan View
Scale: 3\"/>



3B New Stucco Assembly Section Detail
Scale: 3\"/>



6 Metal Wall Panel at Door Jamb Detail
Scale: 3\"/>



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Stucco Repair Details

SHEET NO.

A-2.2