



MEMORANDUM | September 19, 2023

Will County Adult Detention Center

Addendum No. 2

WJE PROJECT NO. 2023.0872

TO	Prospective Bidders
FROM	Patrick D. Shaughnessy and Nathan J. Harres

Dear Bidders:

This addendum forms a part of the bidding and contract documents and modifies the original bidding documents dated August 8, 2023. Acknowledge receipt of this Addendum on the Bid Form.

CLARIFICATIONS:

1. Question: The Book states he "complete set of Contract Documents shall be submitted with the proposal, in triplicate with *ONE ORIGINAL AND TWO COPIES, CLEARLY MARKED*. All Bid Forms and Specifications as attached hereto shall be used to form the Contract for the work to be performed." Does this mean we are submitting the entire Project Manual in triplicate all 190 pages? Drawings also?

Will County Facilities Department Answer: Bidders to include one (1) original + two (2) copies of Section 00 41 44, Bid Form, pages 1-7.

2. Question: At the pre bid meeting it was mentioned that all scaffolding must be removed at the end of every workday. Is this correct for all areas?

*Will County Facilities Department Answer: All scaffolding used on the project must **not** be left in place at the conclusion of each workday. However, swing staging used on the project can be stored on the roof at the conclusion of each workday.*

3. Question: A-2.2 "Restore 2nd Floor Steel-framed windows in place" what is meant by Restore? Paint window? New Glass? Please elaborate.

WJE Response: The written scope of work on the title sheet for the Drawings (A-0) provides additional detail for this work. The intended scope is to include cleaning and removal of failed paint coating and corrosion residue and recoating of all steel frames. There is no work included in the scope of work for replacement of glass lites.

4. Question: It was stated that the Roofing work hours are 6:00 AM to 2:00 PM because a guard will be on the roof and that is what the normal guard work hours are. This work hour

requirement would make for a very inefficient project. Between security check-in at the beginning of the shift, lunch break, startup in the morning and temporary tie-in from the new roof to the old at the end of the day there would not be much production completed each day. Also, once we cut the existing EPDM membrane in the morning we do not leave until the New Roof is complete and a watertight tie-in to the existing membrane is completed. Also, depending on the time of the year it is still dark at 6:00 AM. Depending on the time of the year there is dew in the morning and we prefer to start at 7:00 AM. Please advise if we should price in this large work day Inefficiency or if a Guard from the next shift will be made available for the project?

WJE Response: The stated hours of 6:00-2:00 are intended as a guide. We understand that schedules can be unpredictable, and the county will work with the contractor if work hours need to be altered.

5. Question: Title Sheet A-0.0 Roofing Item #9b Obsolete Curbs Please advise that the requirement to span 3 Joists is not applicable as most of the abandoned curbs are only 3 feet wide. Please advise what type and gauge of Metal deck is Existing.

WJE Response: For openings greater than 24 inches wide, metal deck repairs shall span three bar joists. Openings less than 24 inches wide shall be repaired with an overlay piece of steel decking that matches the existing profile. Deck repairs shall consist of G-90 finished 20-gauge Type "B" metal deck to match existing.

6. Question: Title Sheet A-0.0 Roofing Item #11 Seven new Hot Dipped Antenna Supports At the Prebid Walk around it was mentioned that this scope of work was by others? Please advise if we are to only flash the new Supports that are to be furnished and installed by others? Or provide a design detail if we are to include this scope of work in the Roofing Bid?

WJE Response: The posts are to be supplied and installed by the Contractor. See 11/A-3.2 for detail.

7. Question: Title Sheet A-0.0 Roofing Item #13 White Rubber Walkpads. There are none shown on the Contract Drawings. Advise that the only required location for walkway is per Specification 07 53 23 page 13, Para 3.8

WJE Response: See attached drawings for walkway locations.

8. Question: Vac Gravel Hose – Will the Gravel Vac Hose be able to remain hooked up overnight to the VAC Unit?

WJE Response: The hose cannot hang over the side of the building at the end of the day.

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9. Question: Spec 01 11 00- page 2 Summary of Work Para 1.5-A.1f Remove Razor Wire Area 1
Please advise if this removal can be performed directly by the Owner or if you can provide the name of a local Subcontractor that has performed this work in the past at the facility?
WJE Response: Installer information is not available. Information was available from Atkore (<https://www.atkore.com/Products/Security-Products/Barbed-Tape>).
10. Question: Spec 01 11 00-page 3 Summary of Work Para 1.5-A.2k Install new Wire Area 1
Please advise if this installation can be performed directly by the Owner or if you can provide the name of a local Subcontractor that has performed this work in the past at the facility?
WJE Response: See Item 9 above.
11. Question: Raising Exhaust Fans- During the Pre Bid walk around it was confirmed by Facilities that the Existing Exhaust Fans have ample slack in the “whip lines” to allow the units to be raised without an Electrician to rewire them. Please confirm that if the whip line does not have adequate slack that someone from Facilities will make the required electrical modifications?
*WJE Response: It was confirmed that the whips on the exhaust pans on Roof 3 do not have ample slack to allow for raising of the fans. Will County will perform the electrical work on Roof 3 exhaust fans **only** to provide ample length of the whips. Raising of the curbs to minimum 8 inches above the finished roof surface at all roof areas and extension of whips at other units will be the responsibility of the Contractor.*
12. Question: Will there be an allowance added for the Disconnection of mechanical and raising of mechanical items? No way to know that what items will have to be raised/disconnected from the drawings. Same thing for the antenna’s and security cameras.
WJE Response: See Item 11 above.
13. Question: Can the warranty for the work/material installations be waved or drastically reduced for masonry walls that are not being fully repaired or restored. In particular the courtyard walls where the razor wire is not being removed and we are to work up to them. This leaves the most vulnerable wall surfaces not being repaired which in turn can and will impact the longevity of the restored masonry below. Especially the new coating warranty, which states 10 years.
WJE Response: Yes, but the bids should be developed with the standard manufacturer’s warranty in mind. This can be addressed following award.
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14. Question: The bid itself, if two bids are turned in by one contractor and the contractor is low responsive bidder for the masonry but not for the roofing or vice versa, is the county willing to utilize a combined bid from the two (roofing and masonry) if they are lower combined then the separately bid scopes? Basically, can the bid be combined?

WJE Response: All submitted bids must include pricing for roofing and masonry work combined. Bids submitted without pricing for roofing or for masonry work will be rejected.

15. Question: Scaffolding staging that is being required for this project, can swing stages be left on the ground, within the courtyards overnight if the lines (safety, electric and support cables) are pulled up to the roofs and the stage bails and motors get chained to the swing stage?

WJE Response: See Item 2 above.

16. Question: The spec references removal of all paint from wall surfaces prior to installation of new elastomeric coating. Can you please clarify where the intended paint is to be removed.

WJE Response: There are remnants of past coatings in various locations throughout the exterior walls. The standard cleaning procedure recommended by the coating manufacturer is sufficient for preparing the wall surfaces for coating application.

17. Question: The payment portion of the specification suggests contractors are not to scale the drawings and that all walls will be measure then contractor will be paid on unit price basis after consultant review and agreement. If this is to be bid / performed this way, can a quantity of tuck pointing be provided to us to bid from? Would like to bid the project using the plans by scaling them being paid for how we estimate the quantities. This would prohibit a contractor from bidding low on his estimated quantities and then adjusting to a higher amount after the work is completed. Not all walls were accessible during the walk through and this would allow each contractor to bid in similar fashion.

WJE Response: The Drawings are a set of documents that indicate intent of the work through graphic representation. The general note about not scaling drawings means that the dimensions in the Drawings are approximate and cannot be guaranteed in the plans and elevations, nor will WJE be responsible for discrepancies that arise from printing or scaling methods. They can be used as a basis to develop quantities for lump sum work but Contractors are responsible for verifying dimensions by whatever means are preferred.

18. Question: Is it possible to extend the bid date by a week or so to provide a bit of additional time to put together a more thorough responsive bid?

WJE Response: Please see Item 29 for updated bid due requirements.

19. Question: How much time should we include for the architect inspection.

WJE Response: We cannot say how much time will be needed for the Architect's inspection without an access plan. Due to the nature of the project, we believe that there will be a minimal amount of disruption to the daily operations during the inspections.

20. Question: How many coats of elastomeric coating are to be applied.

WJE Response: Per the Specifications, Apply elastomeric coating in two or three coats to provide overall thickness of 10 to 15 dry mils (0.010 to 0.015 inches) or as recommended by coating manufacturer, whichever is greater.

21. Question: For sure we have to cover the walls if we grind in winter months.

WJE Response: All walls that are grinded and are not able to be fully pointed shall be protected from moisture infiltration daily.

22. Question: Can we use Spec Mix type N for the mortar mix, ASTM c270.

WJE Response: Yes, Spec Mix Type N mortar mix is an example of a mortar that is in alignment with the Specifications.

23. Question: Is there any photos of the high roof for scaffold rigging purposes. Can we leave aluminum I bears and weights on roof and scaffold on ground over night with cables removed.

WJE Response: Scaffolding cannot remain installed against the building at the end of each day. See Item 2 above.

24. Question: Are MBE/WBE Required?

WJE Response: Although requirements are not published in the documents, Bidders are asked to make a Best Effort in including MBE/WBE.

25. Walkway pads/pavers remove existing and replace or can we reuse existing?

WJE Response: See Item 7 above. Existing walkways shall be legally discarded.

26. Point of clarification: The east parking lot adjacent to the main entrance will be acceptable for use as temporary staging and loading.

27. Point of Clarification: Razor wire in courtyards will be removed and reinstalled as needed for execution of the Work and is the responsibility of the Contractor.

28. Public Bid Opening: Bids will be accepted until 10:00 A.M. on Tuesday, September 26, 2023. Bids will be publicly opened at 10:05 A.M. The bid opening location has not changed. See the Bid Form for all bidding details.

29. Drawing Revisions: The project drawings have been updated to include locations of roof walkway pad locations.

This addendum consists of six (6) pages plus updated drawings Marked "Addendum 2" and dated September 18, 2023.

Will County Adult Detention Facility

Roofing Replacement

Project: **2023.0872.0**
95 South Chicago Street
Joliet, Illinois 60436

Owner: **Will County Purchasing Department**
302 North Chicago Street
Joliet, Illinois 60432

Engineer: **Wiss, Janney, Elstner Associates, Inc.**
330 Pfingsten Road
Northbrook, Illinois 60062
847.272.7400 tel | 847.291.9599 fax
www.wje.com

INDEX OF DRAWINGS

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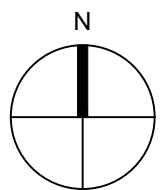
GENERAL NOTES

- ALL DEMOLITION INCLUDING, BUT NOT LIMITED TO THE OPERATION COMMONLY KNOWN AS "TEAR-OFF" MUST BE COORDINATED WITH THE OWNER'S SITE REPRESENTATIVE. THE INTERIOR OF THE BUILDING, AS WELL AS ALL DRAIN PIPE OPENINGS MUST BE PROTECTED FROM DEBRIS ENTRY AT ALL TIMES. SUITABLE COVERINGS FOR ALL DRAIN OPENINGS, ROOF DECK OPENINGS, SCUTTLES, HATCHES, ETC. MUST BE PROVIDED TO PREVENT DEBRIS ACCUMULATION AND MIGRATION. PROVIDE AND MAINTAIN ALL NECESSARY DEBRIS AND DUST BARRIERS TO MAINTAIN A CLEAN, SAFE, ORDERLY SITE.
- LIMIT THE STORAGE OF ROOFING MATERIALS ATOP ROOF SURFACES TO ENSURE THAT ROOF DECKS DO NOT BECOME STRUCTURALLY OVERLOADED. PROTECT ALL STORED MATERIALS FROM THE WEATHER, AS WELL AS FROM DAMAGE RESULTING FROM HIGH WINDS. MATERIALS, TOOLS, EQUIPMENT, ETC. MUST BE SAFELY AND SECURELY STORED ON A CONSTANT BASIS.
- DIMENSIONS AND RELATED AS-BUILT DATA HAS BEEN OBTAINED FROM THE ORIGINAL DESIGN DRAWINGS FOR THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS. DIMENSIONS SHOULD BE FIELD VERIFIED PRIOR TO BIDDING.
- CONTRACTOR SHALL COORDINATE ANY STORAGE OF MATERIALS AT THE BUILDING WITH THE OWNER.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE BUILDING (WALLS, ROOF, ETC.), LANDSCAPING, AND ADJACENT PROPERTIES CAUSED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ATTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION.



SITE LOCATION

SCALE: NONE



SCOPE OF WORK

THE SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED, TO THE FOLLOWING:

BASE BID:

ROOFING

- ROOF DEMOLITION
 - REMOVE EXISTING STONE BALLAST SURFACING, EPDM MEMBRANE, AND INSULATION TO EXISTING STRUCTURAL DECK
 - REPAIR DETERIORATED CONCRETE DECKING ON A UNIT PRICE BASIS.
- VAPOR RETARDER AREA 5 ONLY
 - PRIME CONCRETE ROOF DECK AS RECOMMENDED BY MANUFACTURER.
 - INSTALL SELF ADHERED VAPOR RETARDER OVER DECK AND SEAL TO ALL PENETRATIONS.
 - INSTALL PRIMER AT ALL LAPS AND ROLL MEMBRANE TO EMBED ONTO ROOF DECK SURFACE.
- POLYISOCYANURATE INSULATION
 - INSTALL A BASE LAYER OF 1.5 INCH POLYISOCYANURATE INSULATION OVER VAPOR RETARDER. ADHERE BOARDS USING URETHANE FOAM ADHESIVE RIBBONS SPACED AT INTERVALS TO MEET WIND UPLIFT REQUIREMENTS.
- TAPERED INSULATION
 - INSTALL 1/4 INCH PER FOOT TAPERED POLYISOCYANURATE OVER BASE LAYER OF INSULATION ADHERED WITH URETHANE FOAM INSULATION ADHESIVE SPACED AT INTERVALS TO MEET WIND UPLIFT REQUIREMENTS.
- COVERBOARD
 - ADHERE ONE LAYER OF 1/2 INCH HIGH-DENSITY POLYISOCYANURATE COVER BOARD TO THE TOP LAYER OF POLYISOCYANURATE INSULATION IN URETHANE FOAM ADHESIVE RIBBONS SPACED AT INTERVALS TO MEET WIND UPLIFT REQUIREMENTS.
- ROOFING MEMBRANE
 - INSTALL A 60 MIL WHITE EPDM MEMBRANE AND FLASHING SYSTEM, FULLY ADHERED TO THE COVERBOARD WITH LOW VOC SOLVENT BASED ADHESIVE.
- WALL FLASHINGS
 - INSTALL MEMBRANE FLASHING MEMBRANE UP WALL MINIMUM 8 INCHES ABOVE THE FINISHED ROOF SURFACE. SET TOP EDGE OF MEMBRANE IN SEALANT.
 - INSTALL TERMINATION BAR ALONG TOP EDGE OF MEMBRANE FLASHING AND MECHANICALLY FASTEN THROUGH LINE OF SEALANT BEHIND MEMBRANE. INSTALL SEALANT ALONG TOP EDGE OF TERMINATION BAR.
 - INSTALL COUNTERFLASHINGS OVER ALL MEMBRANE TERMINATIONS AS SHOWN IN THE DRAWINGS.
- OBSOLETE CURBS
 - REMOVE OBSOLETE EQUIPMENT AND CURBS AND LEGALLY DISPOSE.
 - INSTALL METAL DECKING TO MATCH EXISTING OVER HOLES. DECK PIECES SHALL SPAN THREE BAR JOISTS
- WARRANTY
 - PROVIDE A 2-YEAR CONTRACTOR'S WORKMANSHIP WARRANTY COVERING ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
 - PROVIDE A 20-YEAR MANUFACTURER'S "NO DOLLAR LIMIT" WARRANTY.
- FURNISHING AND INSTALLATION OF SEVEN (7) NEW HOT-DIPPED GALVANIZED ANTENNA SUPPORTS FASTENED TO THE ROOF DECK.
- FURNISHING AND INSTALLATION OF WHITE RUBBERIZED WALKING PADS.
- CONTRACTOR SHALL SCOPE EACH ROOF DRAIN FOR 25 FEET AT COMMENCEMENT OF PROJECT FOR ANY BLOCKAGE IN DRAIN LINE PIPING. SUBMIT WRITTEN REPORT TO WJE AND WILL COUNTY.

EXTERIOR WALL

- GRIND AND POINT 100 PERCENT OF CMU JOINTS AT EXTERIOR WALLS OF ORIGINAL BUILDING.
- REMOVE EXISTING SEALANT AND JOINT MATERIAL AT ALL CMU BUILDING JOINTS, CONTROL JOINTS, PERIMETER JOINTS AT WINDOWS, DOORS, AND LOUVERS, AND AT JOINTS AROUND PENETRATIONS THROUGH CMU EXTERIOR WALLS. INSTALL NEW BACKER ROD AND SEALANT.
- REPAIR CRACKS IN SPLIT-FACE CMU AT ISOLATED LOCATIONS THROUGHOUT THE ORIGINAL BUILDING FACADES (OUTER WYTHE ONLY) AT LOCATIONS DESIGNATED BY A/E IN THE FIELD. REPAIR IS TO INCLUDE

ROUTING CRACKS, INSTALLING BACKER ROD AND SEALANT, AND INSTALLATION OF HELICAL ANCHORS AT BOTH SIDES OF THE CRACK INTO SOUND CMU BACKUP. PROVIDE AN ALLOWANCE OF 2,000 LINEAR FEET OF CRACK REPAIR.

- REMOVE AND REPLACE SEVERELY CRACKED SPLIT-FACE CMU (OUTER WYTHE ONLY) AT LOCATIONS DESIGNATED BY A/E IN THE FIELD. PROVIDE AN ALLOWANCE OF 250 REPLACEMENT CMU.
- SAWCUT NEW VERTICAL CONTROL JOINTS IN THE SPLIT-FACE CMU EXTERIOR WALLS (FULL DEPTH OF OUTER WYTHE ONLY) AT LOCATIONS SHOWN IN THE DRAWINGS. INSTALL HELICAL ANCHORS AT BOTH SIDES OF NEW CONTROL JOINTS INTO SOUND CMU BACKUP AND INSTALL BACKER ROD AND SEALANT AT CONTROL JOINT.
- AT WINDOW HEADS DESIGNATED IN THE DRAWINGS, REMOVE SPLIT-FACE CMU (OUTER WYTHE) ABOVE ISOLATED WINDOW HEADS, CLEAN AND PAINT STEEL LINTEL, INSTALL THROUGH-WALL FLASHING, AND INSTALL NEW CMU TO MATCH ORIGINAL.
- AT SECOND FLOOR LEVEL WINDOWS WITHIN THE EXTERIOR WALL REPAIR WORK AREAS, RESTORE EXISTING STEEL FRAMES BY REMOVING FAILED PAINT COATING AND CORROSION PRODUCT AND APPLYING A NEW COATING SYSTEM.
- AFTER ALL EXTERIOR WALL REPAIRS ARE COMPLETE, CLEAN ALL CMU SURFACES TO REMOVE STAINING, SOILING, EFFLORESCENCE, AND FAILED EXISTING PAINT COATING AND APPLY A NEW ELASTOMERIC COATING OVER THE EXTERIOR SURFACE OF ALL CMU. CMU SURFACES ARE TO BE CLEANED AND PREPARED IN ACCORDANCE WITH COATING MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE MOBILIZATION, SCAFFOLDING, AND GENERAL CONDITIONS AS REQUIRED TO ACCESS THE WORK AREAS AND ANY NECESSARY PROTECTION TO IMPLEMENT THE ABOVE SCOPE OF WORK.

ALTERNATES:

- ALTERNATE NO. 1 - ROOFING
 - SUBSTITUTE A 90 MIL WHITE EPDM ROOFING MEMBRANE IN LIEU OF THE 60 MIL SYSTEM IN ITEM L2.(INCLUDING COSTS FOR PERFORMANCE BOND, PAYMENT BOND, ALL NECESSARY PERMITS, ACCESS, SIDEWALK PROTECTION, ETC.)
- ALTERNATE NO. 2 - EXTERIOR MASONRY REPAIRS AT EXTERNAL SCREEN WALLS
 - PERFORM ABOVE-REFERENCED BASE BID SCOPE OF WORK FOR EXTERIOR WALL REPAIRS AT EXTERNAL COURTYARDS INDICATED IN THE DRAWINGS. PROVIDE AN ALLOWANCE OF 500 LINEAR FEET OF CMU CRACK REPAIRS AND 50 REPLACEMENT CMU. ACCESS AND GENERAL CONDITIONS (INCLUDING COSTS FOR PERFORMANCE BOND, PAYMENT BOND, ALL NECESSARY PERMITS, ACCESS, SIDEWALK PROTECTION, ETC.) ARE TO BE INCLUDED.
- ALTERNATE NO. 3 - EXTERIOR MASONRY REPAIRS AT INTERNAL COURTYARDS
 - PERFORM ABOVE-REFERENCED BASE BID SCOPE OF WORK FOR EXTERIOR WALL REPAIRS AT INTERNAL COURTYARDS WITHOUT OVERHEAD SECURITY CANOPY. PROVIDE AN ALLOWANCE OF 100 LINEAR FEET OF CMU CRACK REPAIRS AND 10 REPLACEMENT CMU. ACCESS AND GENERAL CONDITIONS (INCLUDING COSTS FOR PERFORMANCE BOND, PAYMENT BOND, ALL NECESSARY PERMITS, ACCESS, SIDEWALK PROTECTION, ETC.) ARE TO BE INCLUDED.
- ALTERNATE NO. 4 - EXTERIOR MASONRY REPAIRS AT INTERNAL COURTYARDS
 - PERFORM ABOVE-REFERENCED BASE BID SCOPE OF WORK FOR EXTERIOR WALL REPAIRS AT INTERNAL COURTYARDS WITH OVERHEAD SECURITY CANOPY. PROVIDE AN ALLOWANCE OF 100 LINEAR FEET OF CMU CRACK REPAIRS AND 10 REPLACEMENT CMU. ACCESS AND GENERAL CONDITIONS (INCLUDING COSTS FOR PERFORMANCE BOND, PAYMENT BOND, ALL NECESSARY PERMITS, ACCESS, SIDEWALK PROTECTION, ETC.) ARE TO BE INCLUDED.

WJE

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Consultants

Project

**Will County Adult Detention
Facility - Roofing Replacement**
95 South Chicago Street
Joliet, Illinois 60436

Client

**Will County Purchasing
Department**
302 North Chicago Street
Joliet, Illinois 60432

2	09/18/2023	Addendum 2
Mark	Date	Description



Project No. 2023.0872.0

Date 09/18/2023

Drawn GM

Checked PS

Scale As Noted

Sheet Title

Sheet No.

Tile Sheet

A-0.0

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Project

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Mark	Date	Description



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Checked PS

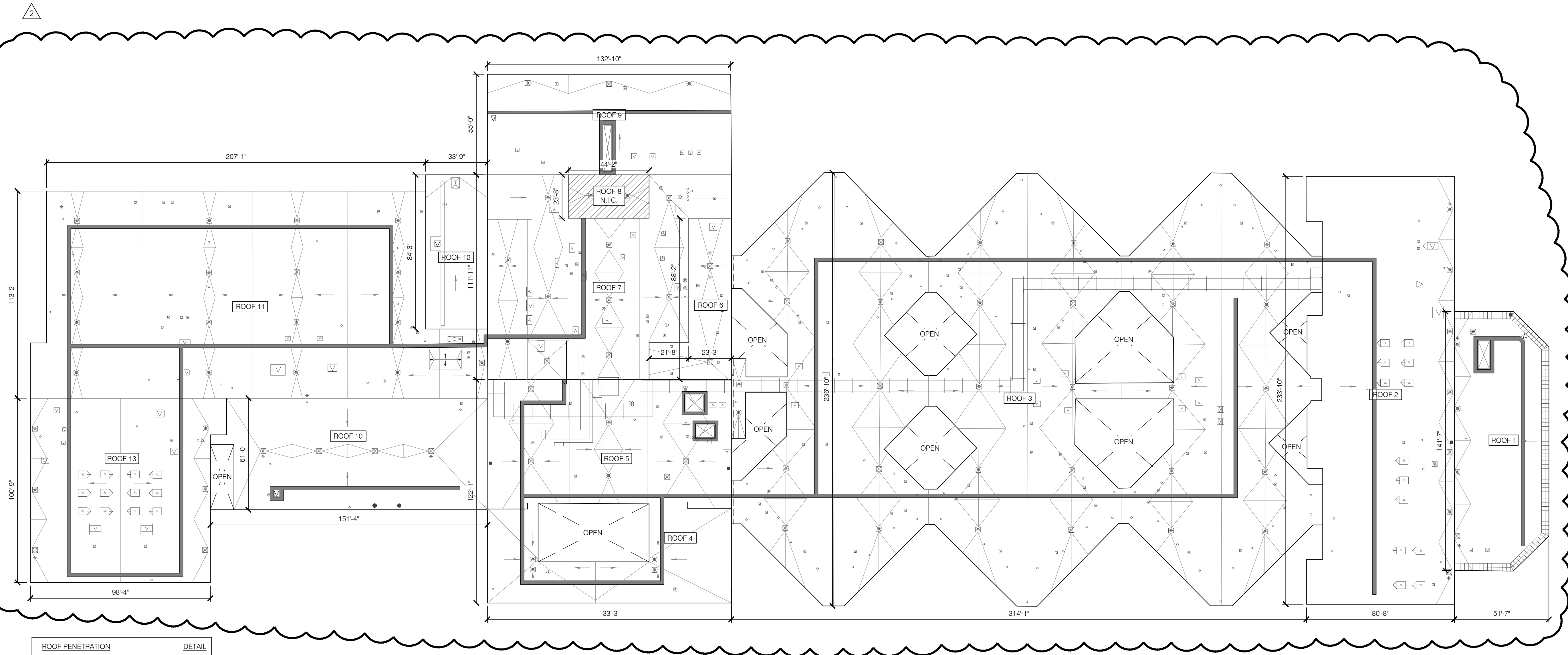
Scale As Noted

Overall Roof Plan

Sheet Title

Sheet No.

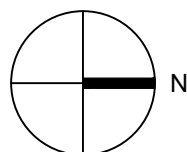
A-1.0



ROOF PENETRATION	DETAIL
ROOF DRAIN	10 / A-3.0
OVERFLOW ROOF DRAIN	10 / A-3.0
SKYLIGHT	2 / A-3.2
VENT ON CURB	9, 10 / A-3.2
VENT ON RAILS	1 / A-3.3
PIPE PENETRATION	5, 6, 8 / A-3.2
FLUE VENT	7 / A-3.2
OBSOLETE PENETRATION	-
EXPANSION JOINT	1 / A-3.1
HATCH	4 / A-3.2
ANTENNA/CAMERA SUPPORT	11 / A-3.2
EQUIPMENT CURB	10 / A-3.2
WALKING PAD	

1 Overall Roof Plan

SCALE: 1/32



2	09/18/2023	Addendum 2
Mark	Date	Description



Project No. 2023.0872.0

Date 09/18/2023

Drawn GM

Checked PS

Scale As Noted

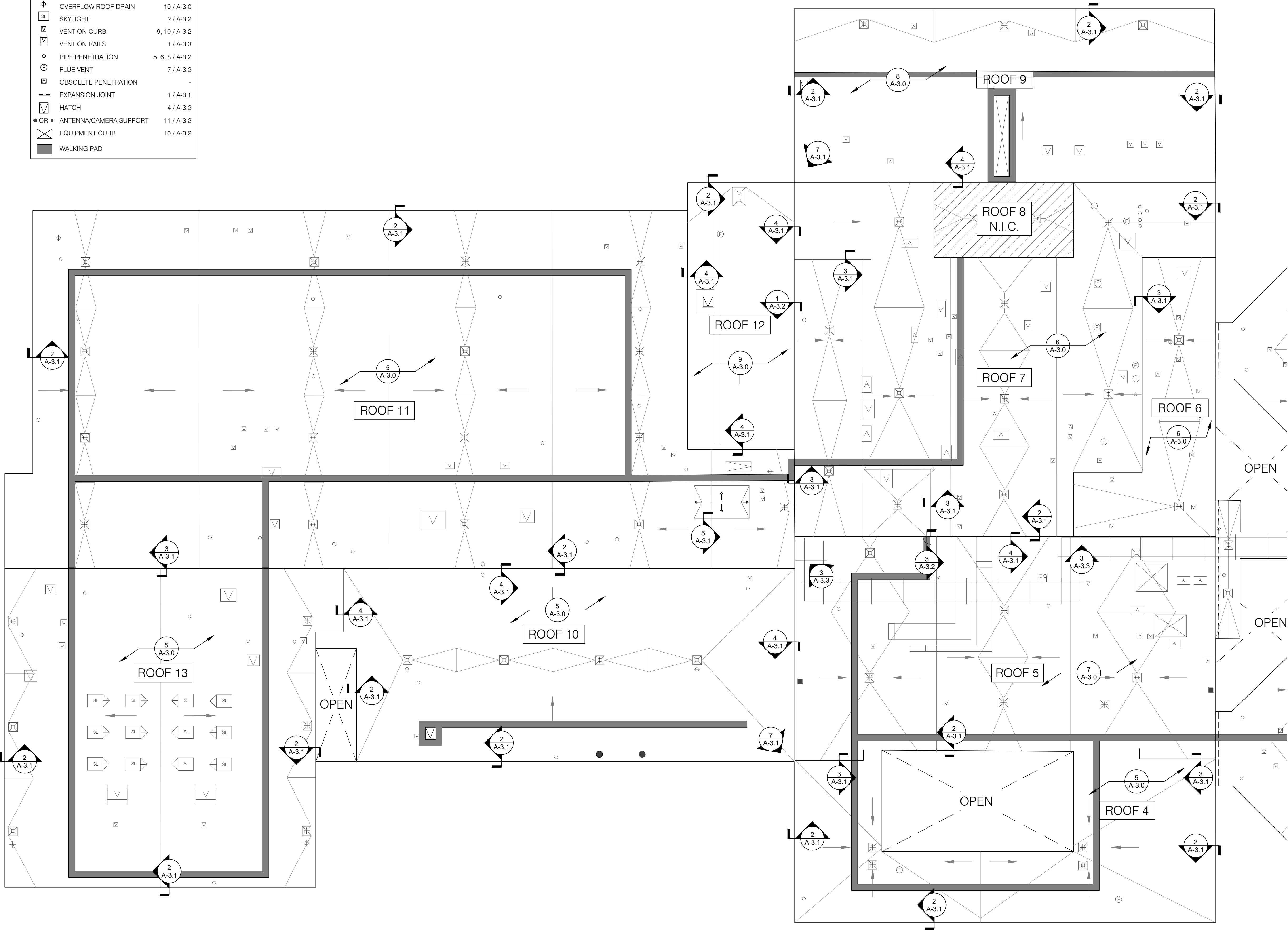
Roof Plan (South)

Sheet Title

Sheet No.

A-1.1

ROOF PENETRATION	DETAIL
ROOF DRAIN	10 / A-3.0
OVERFLOW ROOF DRAIN	10 / A-3.0
SKYLIGHT	2 / A-3.2
VENT ON CURB	9, 10 / A-3.2
VENT ON RAILS	1 / A-3.3
PIPE PENETRATION	5, 6, 8 / A-3.2
FLUE VENT	7 / A-3.2
OBSOLETE PENETRATION	-
EXPANSION JOINT	1 / A-3.1
HATCH	4 / A-3.2
ANTENNA/CAMERA SUPPORT	11 / A-3.2
EQUIPMENT CURB	10 / A-3.2
WALKING PAD	



1 Roof Plan (South)
SCALE: 1/16" = 1'-0"



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Consultants

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Drawn GM

Checked PS

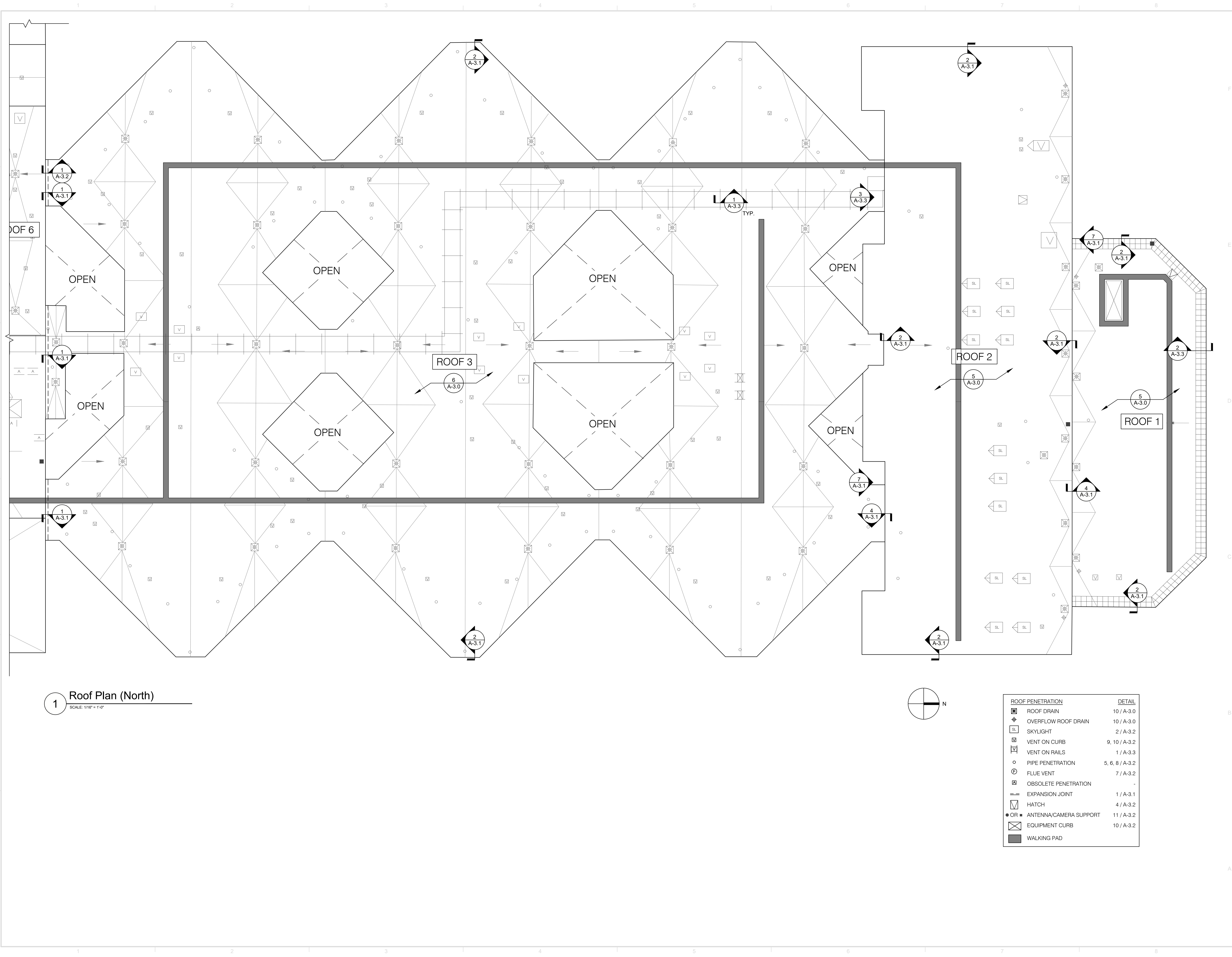
Scale As Noted

Roof Plan (North)

Sheet Title

Sheet No.

A-1.2



1 Roof Plan (North)
SCALE: 1/16" = 1'-0"

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Mark	Date	Description



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Drawn GM

Checked PS

Scale As Noted

Wind Uplift Plan

Sheet Title

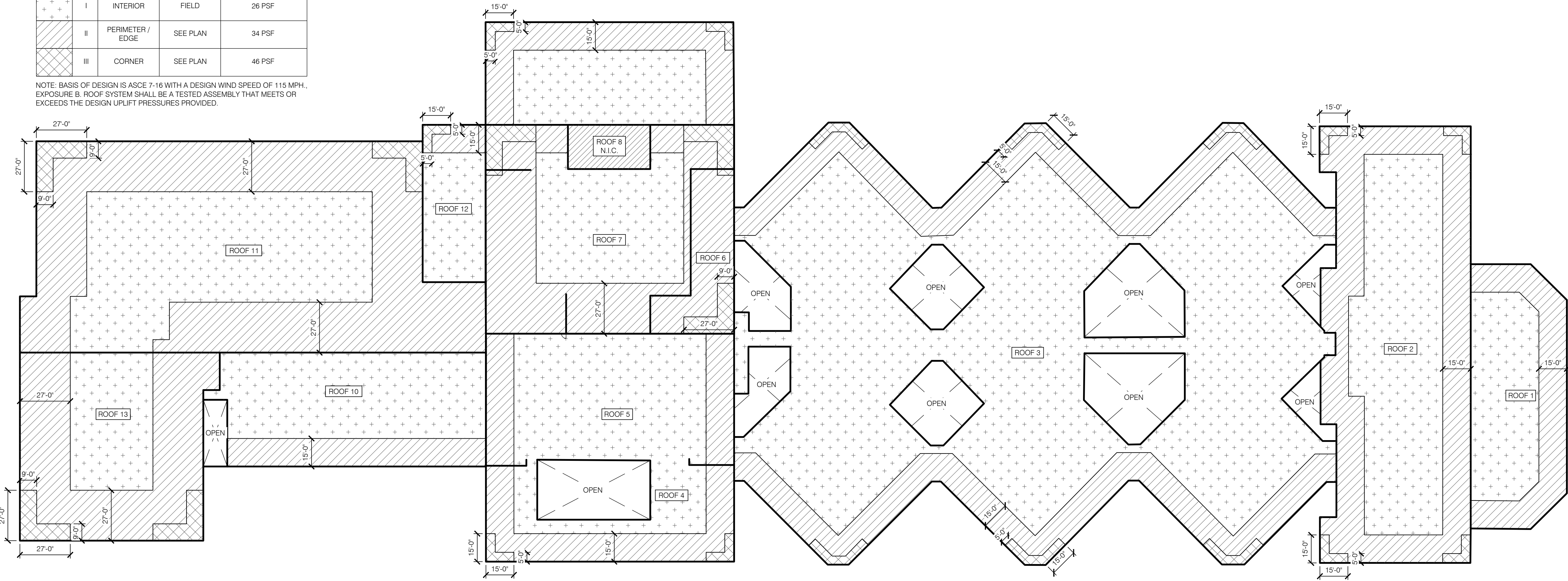
Sheet No.

A-1.3

ROOF SYSTEM WIND RESISTANT ZONES

ZONE	TYPE	ZONE WIDTH	SERVICE LEVEL UPLIFT
I	INTERIOR	FIELD	26 PSF
II	PERIMETER / EDGE	SEE PLAN	34 PSF
III	CORNER	SEE PLAN	46 PSF

NOTE: BASIS OF DESIGN IS ASCE 7-16 WITH A DESIGN WIND SPEED OF 115 MPH.,
EXPOSURE B. ROOF SYSTEM SHALL BE A TESTED ASSEMBLY THAT MEETS OR
EXCEEDS THE DESIGN UPLIFT PRESSURES PROVIDED.



1 Wind Uplift Plan
SCALE: 9/256" = 1'-0"

Consultants

Project

Will County Adult Detention
 Facility - Masonry Repairs
 95 South Chicago Street
 Joliet, Illinois 60436

Client

Will County Purchasing
 Department
 302 North Chicago Street
 Joliet, Illinois 60432

2	09/18/2023	Addendum 2
Mark	Date	Description



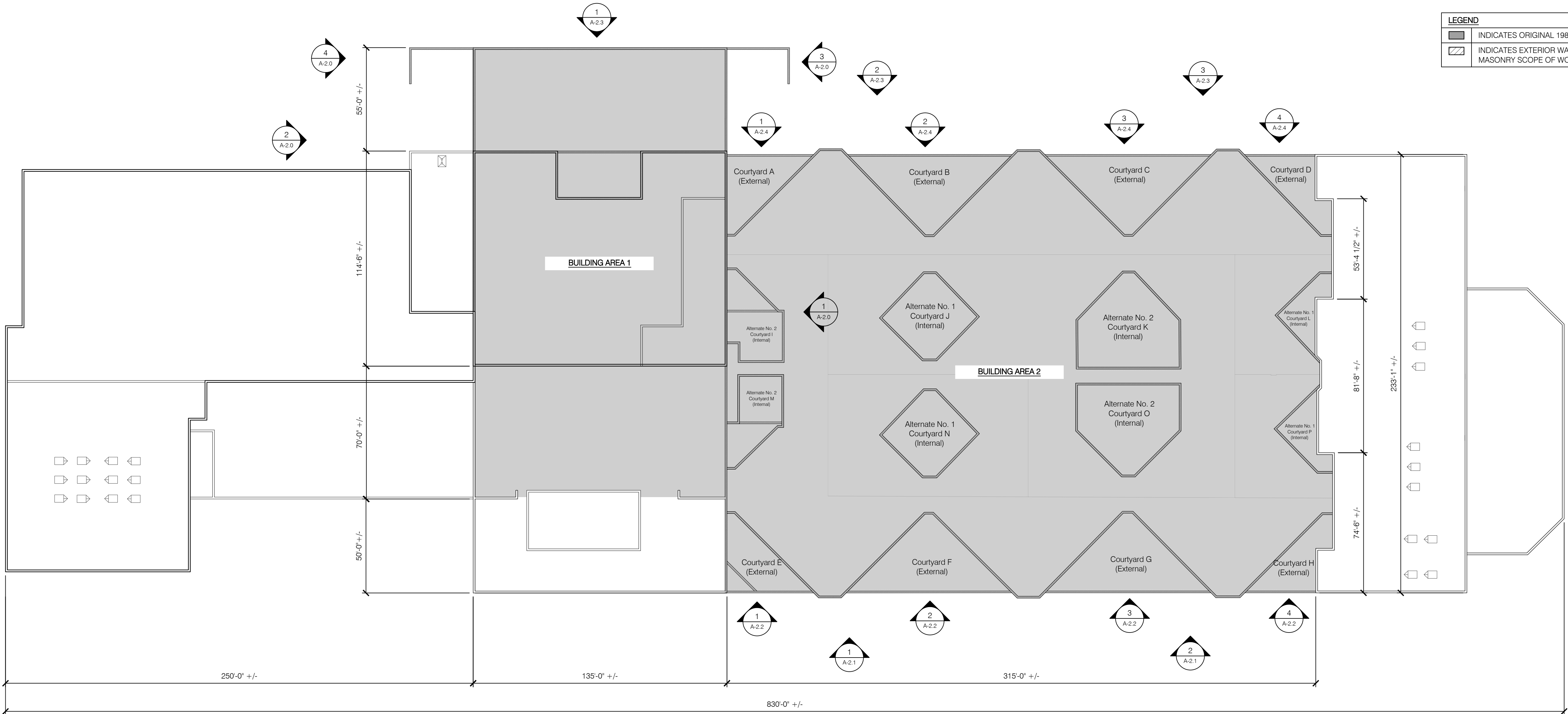
Project No. 2023.0872.0
 Date 09/18/2023
 Drawn EMW/KJA
 Checked NJH/JJW
 Scale As Noted

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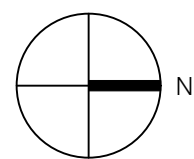
Sheet No.

Roof Plan for Exterior
 Wall Repairs

A-1.4



1 Roof Plan for Exterior Wall Repairs
 Scale: 1/32" = 1'-0"



2 East Elevation Photo Detail
 Scale: N.T.S.



3 Exterior Courtyard Photo Detail
 Scale: N.T.S.

2	09/18/2023	Addendum 2
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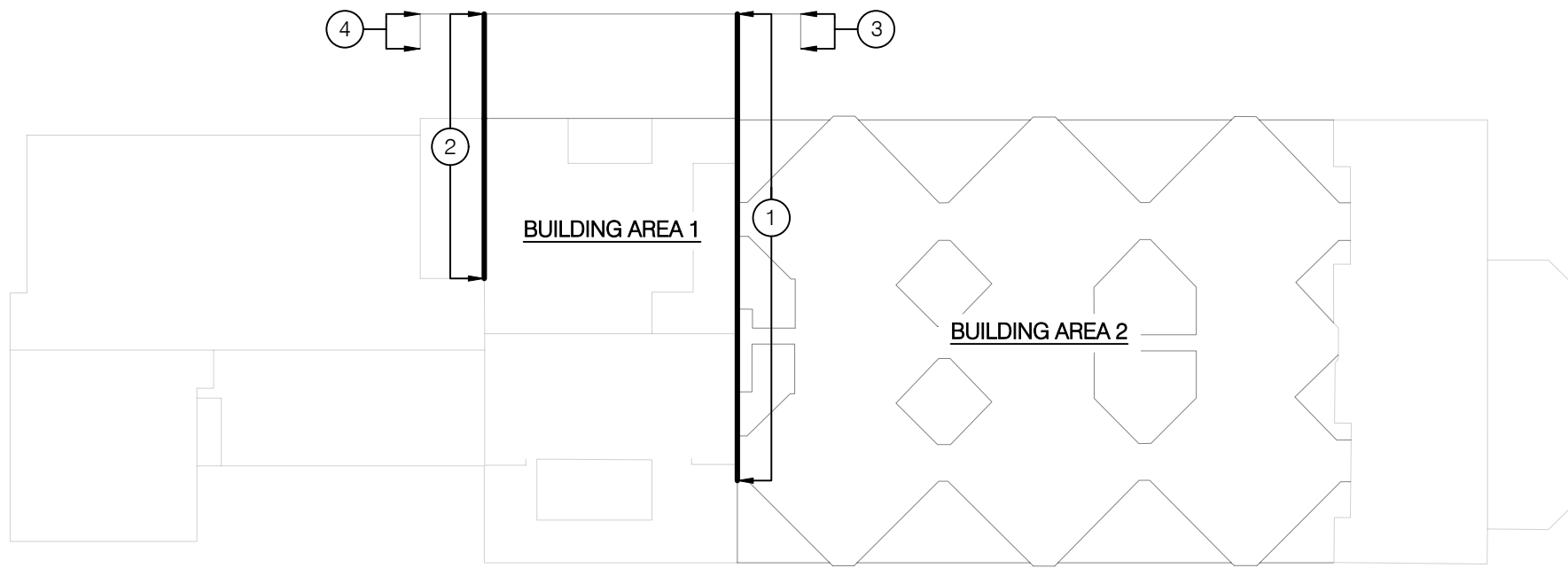
THIS SHEET PLOTS FULL SIZE
AT 24x36 (INCHES)

Project No. 2023.0872.0
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Checked NJH/JJW
Scale As Noted

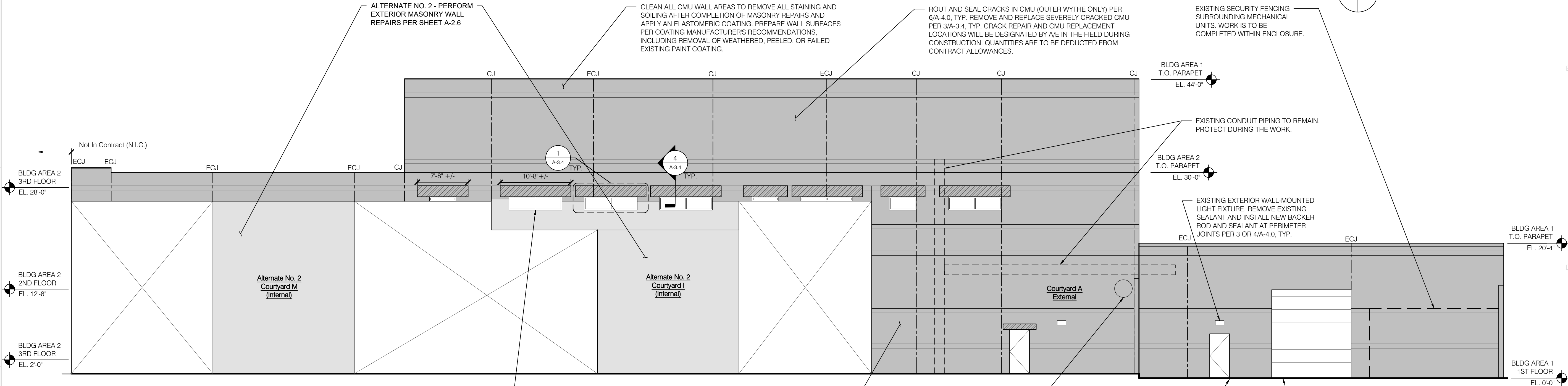
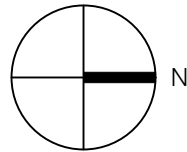
Sheet Title Building Area 1
North & South Elevations

Sheet No.

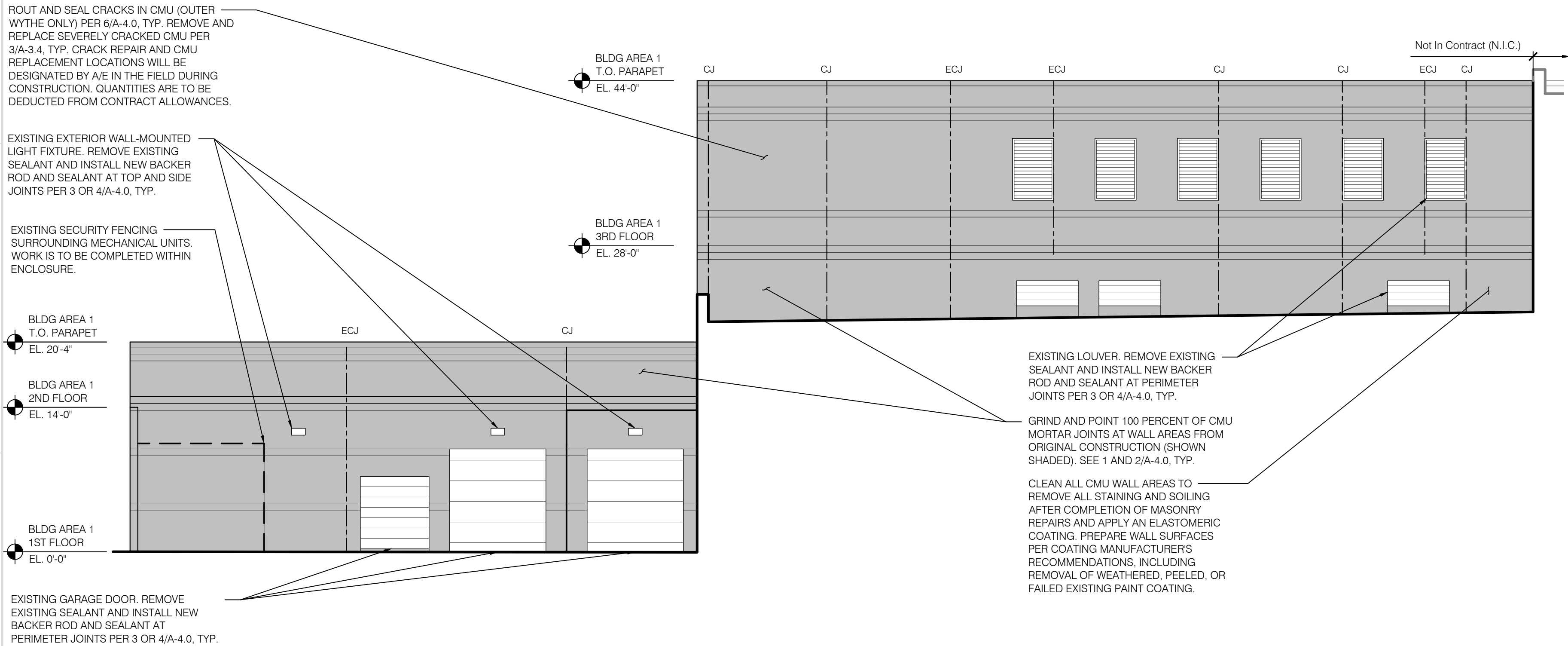
LEGEND	
ECJ	EXISTING CONTROL JOINT. REMOVE AND REPLACE SEALANT PER 3/A-4.0, TYP.
CJ	SAWCUT NEW CONTROL JOINT PER 10/A-4.0, TYP.
	EXTERIOR WALL AREAS INCLUDED IN BASE BID SCOPE OF WORK
	EXTERIOR WALL AREAS INCLUDED IN ALTERNATE SCOPE OF WORK
	REMOVE AND REBUILD CMU AT WINDOW HEADS TO INSTALL NEW THOROUGH-WALL FLASHING PER 4/A-3.4, TYP.



KEY PLAN



1 North Elevation (Building Area 1)
Scale: 1/8" = 1'-0"



2 South Elevation (Building Area 1)
Scale: 1/8" = 1'-0"



3 North Screen Wall (Building Area 1)
Scale: N.T.S.



4 South Screen Wall (Building Area 1)
Scale: N.T.S.

Will County Adult Detention
Facility - Masonry Repairs
95 South Chicago Street
Joliet, Illinois 60436

Will County Purchasing
Department
302 North Chicago Street
Joliet, Illinois 60432

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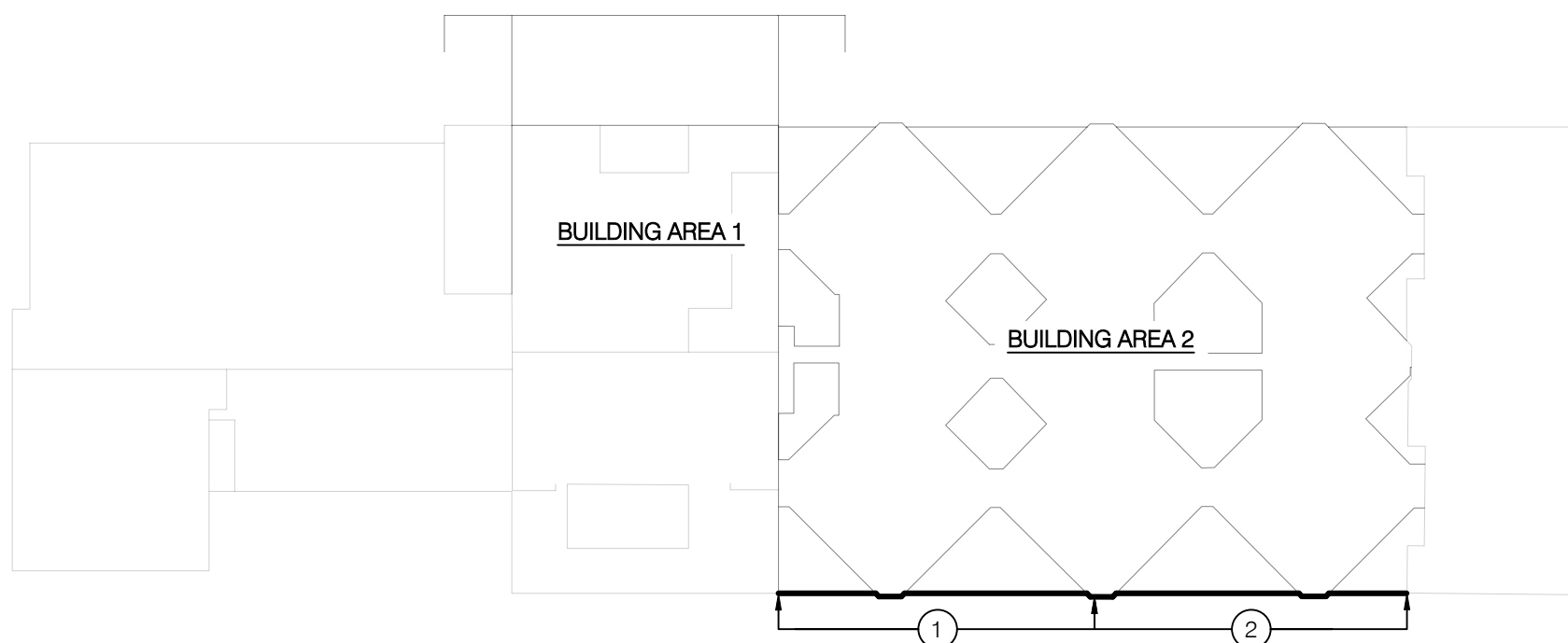
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Sheet No.

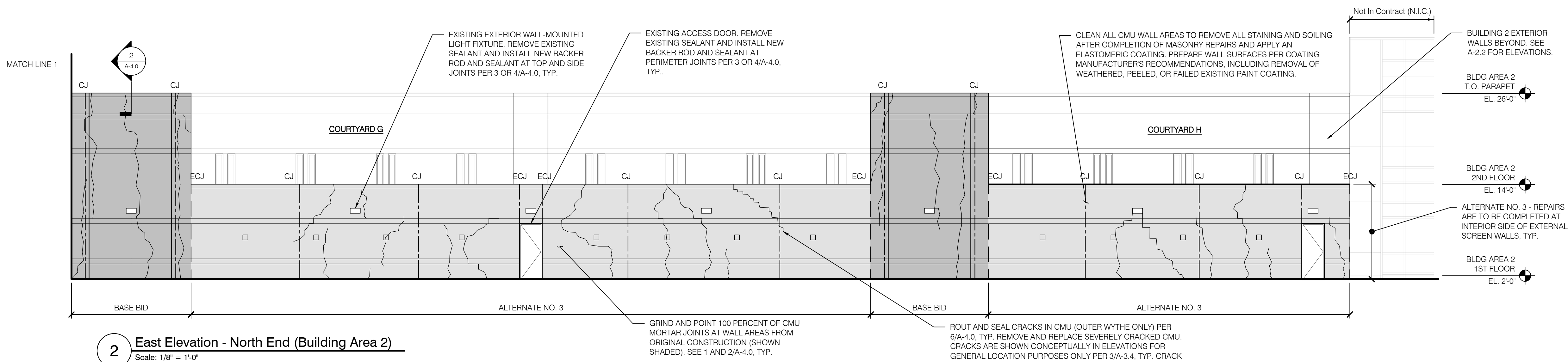
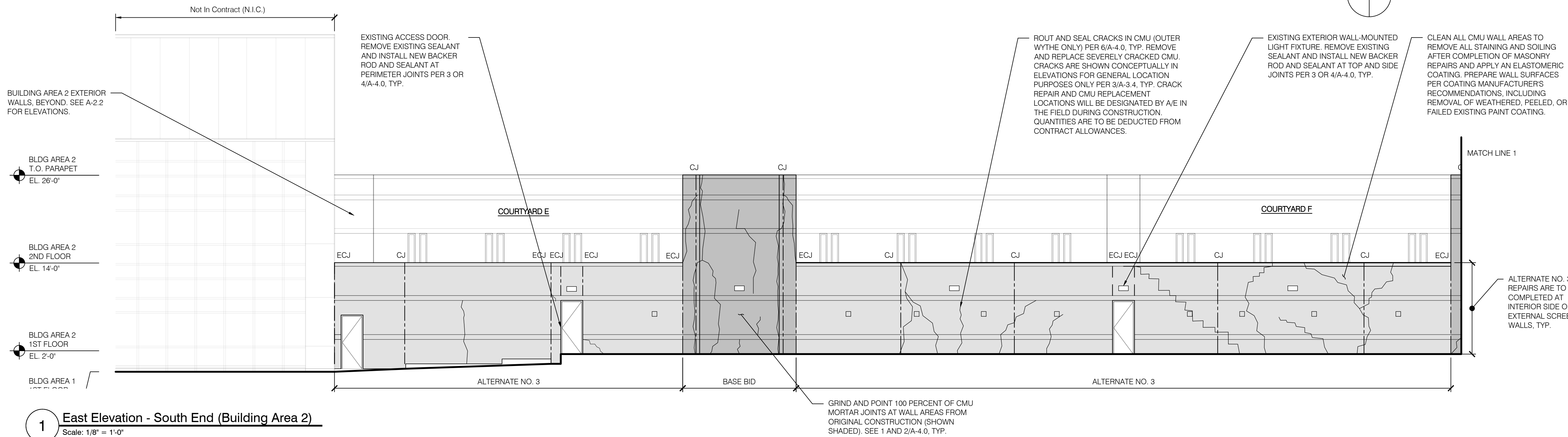
Building Area 2
East Elevation

A-2.1

LEGEND	
ECJ	EXISTING CONTROL JOINT. REMOVE AND REPLACE SEALANT PER 3/A-4.0, TYP.
CJ	SAWCUT NEW CONTROL JOINT PER 10/A-4.0, TYP.
	EXTERIOR WALL AREAS INCLUDED IN BASE BID SCOPE OF WORK
	EXTERIOR WALL AREAS INCLUDED IN ALTERNATE SCOPE OF WORK
	REMOVE AND REBUILD CMU AT WINDOW HEADS TO INSTALL NEW THOROUGH-WALL FLASHING PER 4/A-3.4, TYP.



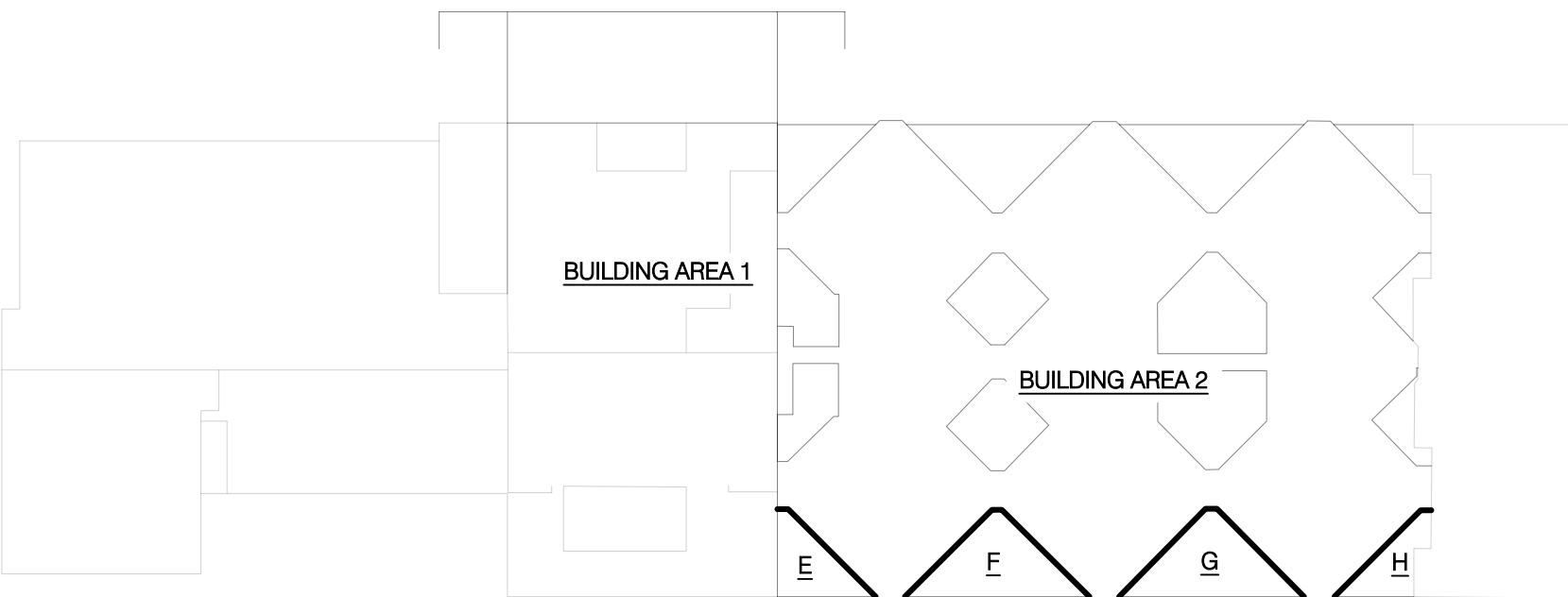
KEY PLAN



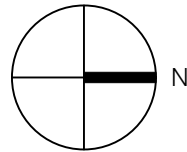
Mark	Date	Description
2	09/18/2023	Addendum 2



LEGEND	
ECJ	EXISTING CONTROL JOINT. REMOVE AND REPLACE SEALANT PER 3/A-4.0, TYP.
CJ	SAWCUT NEW CONTROL JOINT PER 10/A-4.0, TYP.
	EXTERIOR WALL AREAS INCLUDED IN BASE BID SCOPE OF WORK
	EXTERIOR WALL AREAS INCLUDED IN ALTERNATE SCOPE OF WORK
	REMOVE AND REBUILD CMU AT WINDOW HEADS TO INSTALL NEW THOROUGH-WALL FLASHING PER 4/A-3.4, TYP.



KEY PLAN



EXISTING EXTERIOR WALL-MOUNTED LIGHT FIXTURE. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT TOP AND SIDE JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING ACCESS DOOR. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING BARBED WIRE SECURITY FENCING TO REMAIN. REPAIRS ARE TO BE IMPLEMENTED AROUND FENCING WITHOUT REMOVAL

EXISTING EXTERNAL COURTYARD SCREEN WALL AND INTERMEDIATE SITE WALL. PERFORM REPAIRS PER ALTERNATE NO. 3.

ROUT AND SEAL CRACKS IN CMU (OUTER WYTHE ONLY) PER 6/A-4.0, TYP. REMOVE AND REPLACE SEVERELY CRACKED CMU. CRACKS ARE SHOWN CONCEPTUALLY IN ELEVATIONS FOR GENERAL LOCATION PURPOSES ONLY PER 3/A-3.4, TYP. CRACK REPAIR AND CMU REPLACEMENT LOCATIONS WILL BE DESIGNATED BY A/E IN THE FIELD DURING CONSTRUCTION. QUANTITIES ARE TO BE DEDUCTED FROM CONTRACT ALLOWANCES.

RESTORE 2ND FLOOR STEEL-FRAMED WINDOWS IN PLACE WITHIN REPAIR AREA. PROTECT DURING THE WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS, PER 3 OR 4/A-4.0, TYP.

BLDG AREA 2
T.O. PARAPET
EL. 26'-0"

BLDG AREA 2
2ND FLOOR
EL. 14'-0"

BLDG AREA 2
1ST FLOOR
EL. 2'-0"

BLDG AREA 1
1ST FLOOR
EL. 0'-0"

CLEAN ALL CMU WALL AREAS TO REMOVE ALL STAINING AND SOILING AFTER COMPLETION OF MASONRY REPAIRS AND APPLY AN ELASTOMERIC COATING. PREPARE WALL SURFACES PER COATING MANUFACTURER'S RECOMMENDATIONS, INCLUDING REMOVAL OF WEATHERED, PEELED, OR FAILED EXISTING PAINT COATING.

1ST FLOOR STEEL-FRAMED WINDOWS TO REMAIN. PROTECT DURING WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

1 Courtyard E Elevation (Building Area 2)

Scale: 1/8" = 1'-0"

RESTORE 2ND FLOOR STEEL-FRAMED WINDOWS IN PLACE WITHIN REPAIR AREA. PROTECT DURING THE WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS, PER 3 OR 4/A-4.0, TYP.

EXISTING EXTERIOR WALL-MOUNTED LIGHT FIXTURE. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT TOP AND SIDE JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING BARBED WIRE SECURITY FENCING TO REMAIN. REPAIRS ARE TO BE IMPLEMENTED AROUND FENCING WITHOUT REMOVAL.

1ST FLOOR STEEL-FRAMED WINDOWS TO REMAIN. PROTECT DURING WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING ACCESS DOOR. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

CLEAN ALL CMU WALL AREAS TO REMOVE ALL STAINING AND SOILING AFTER COMPLETION OF MASONRY REPAIRS AND APPLY AN ELASTOMERIC COATING. PREPARE WALL SURFACES PER COATING MANUFACTURER'S RECOMMENDATIONS, INCLUDING REMOVAL OF WEATHERED, PEELED, OR FAILED EXISTING PAINT COATING.

BLDG AREA 2
2ND FLOOR
EL. 14'-0"

EXISTING BARBED WIRE SECURITY FENCING TO REMAIN. REPAIRS ARE TO BE IMPLEMENTED AROUND FENCING WITHOUT REMOVAL.

EXISTING EXTERNAL COURTYARD SCREEN WALL AND INTERMEDIATE SITE WALL. PERFORM REPAIRS PER ALTERNATE NO. 3.

BLDG AREA 2
1ST FLOOR
EL. 2'-0"

BLDG AREA 1
1ST FLOOR
EL. 0'-0"

2 Courtyard F Elevation (Building Area 2)

Scale: 1/8" = 1'-0"

1ST FLOOR STEEL-FRAMED WINDOWS TO REMAIN. PROTECT DURING WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

CLEAN ALL CMU WALL AREAS TO REMOVE ALL STAINING AND SOILING AFTER COMPLETION OF MASONRY REPAIRS AND APPLY AN ELASTOMERIC COATING. PREPARE WALL SURFACES PER COATING MANUFACTURER'S RECOMMENDATIONS, INCLUDING REMOVAL OF WEATHERED, PEELED, OR FAILED EXISTING PAINT COATING.

EXISTING ACCESS DOOR. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING EXTERIOR WALL-MOUNTED LIGHT FIXTURE. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT TOP AND SIDE JOINTS PER 3 OR 4/A-4.0, TYP.

RESTORE 2ND FLOOR STEEL-FRAMED WINDOWS IN PLACE WITHIN REPAIR AREA. PROTECT DURING THE WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS, PER 3 OR 4/A-4.0, TYP.

EXISTING EXTERNAL COURTYARD SCREEN WALL AND INTERMEDIATE SITE WALL. PERFORM REPAIRS PER ALTERNATE NO. 3.

RESTORE 2ND FLOOR STEEL-FRAMED WINDOWS IN PLACE WITHIN REPAIR AREA. PROTECT DURING THE WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS, PER 3 OR 4/A-4.0, TYP.

EXISTING EXTERIOR WALL-MOUNTED LIGHT FIXTURE. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT TOP AND SIDE JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING ACCESS DOOR. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

3 Courtyard G Elevation (Building Area 2)

Scale: 1/8" = 1'-0"

1ST FLOOR STEEL-FRAMED WINDOWS TO REMAIN. PROTECT DURING WORK. REMOVE EXISTING SEALANT AND INSTALL NEW SEALANT AND BACKER ROD AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

GRIND AND POINT 100 PERCENT OF CMU MORTAR JOINTS AT WALL AREAS FROM ORIGINAL CONSTRUCTION (SHOWN SHADED). SEE 1 AND 2/A-4.0, TYP.

ROUT AND SEAL CRACKS IN CMU (OUTER WYTHE ONLY) PER 6/A-4.0, TYP. REMOVE AND REPLACE SEVERELY CRACKED CMU. CRACKS ARE SHOWN CONCEPTUALLY IN ELEVATIONS FOR GENERAL LOCATION PURPOSES ONLY PER 3/A-3.4, TYP. CRACK REPAIR AND CMU REPLACEMENT LOCATIONS WILL BE DESIGNATED BY A/E IN THE FIELD DURING CONSTRUCTION. QUANTITIES ARE TO BE DEDUCTED FROM CONTRACT ALLOWANCES.

GRIND AND POINT 100 PERCENT OF CMU MORTAR JOINTS AT WALL AREAS FROM ORIGINAL CONSTRUCTION (SHOWN SHADED). SEE 1 AND 2/A-4.0, TYP.

4 Courtyard H Elevation (Building Area 2)

Scale: 1/8" = 1'-0"

CLEAN ALL CMU WALL AREAS TO REMOVE ALL STAINING AND SOILING AFTER COMPLETION OF MASONRY REPAIRS AND APPLY AN ELASTOMERIC COATING. PREPARE WALL SURFACES PER COATING MANUFACTURER'S RECOMMENDATIONS, INCLUDING REMOVAL OF WEATHERED, PEELED, OR FAILED EXISTING PAINT COATING.

**Will County Adult Detention
 Facility - Masonry Repairs**
 95 South Chicago Street
 Joliet, Illinois 60436

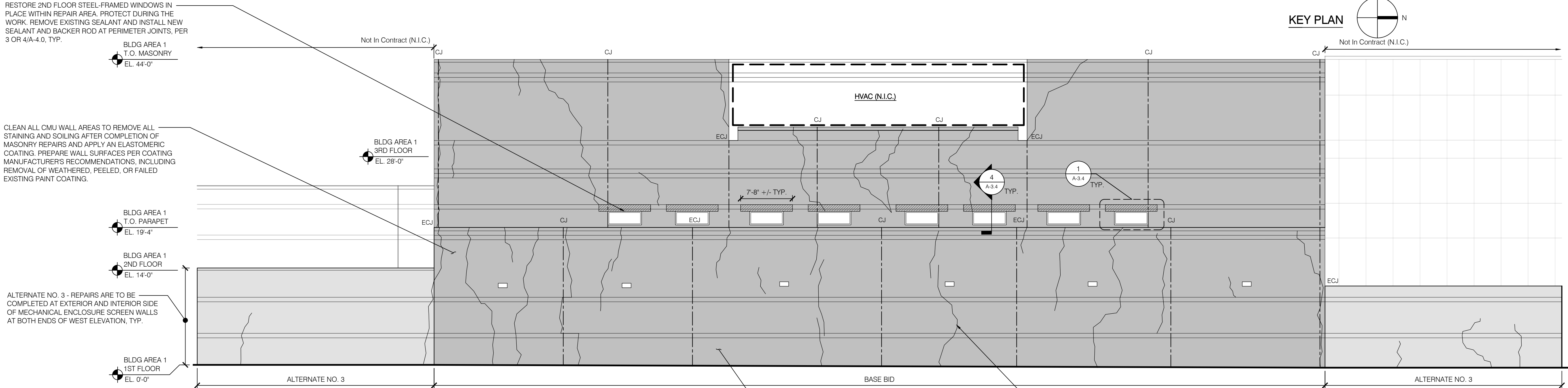
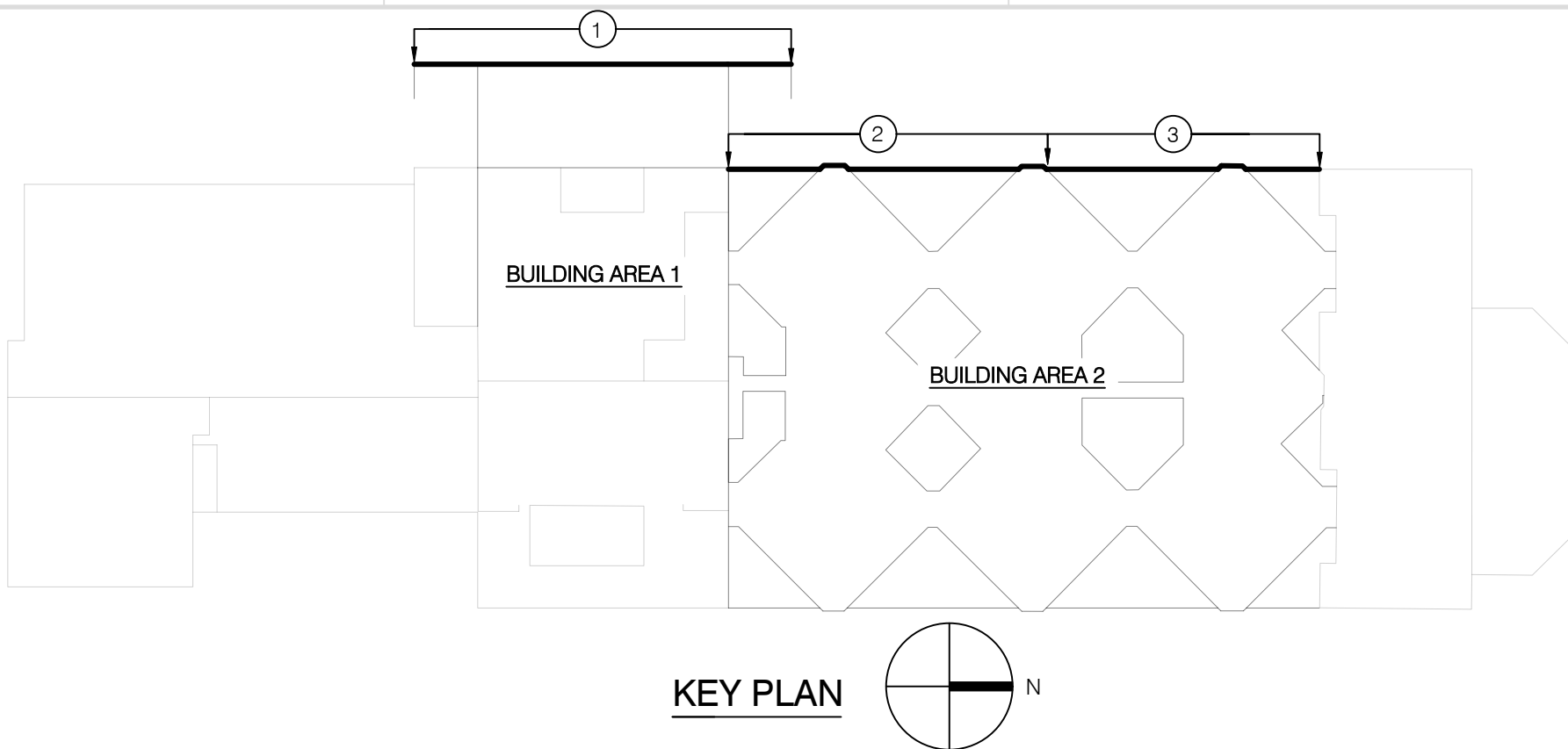
**Will County Purchasing
 Department**
 302 North Chicago Street
 Joliet, Illinois 60432

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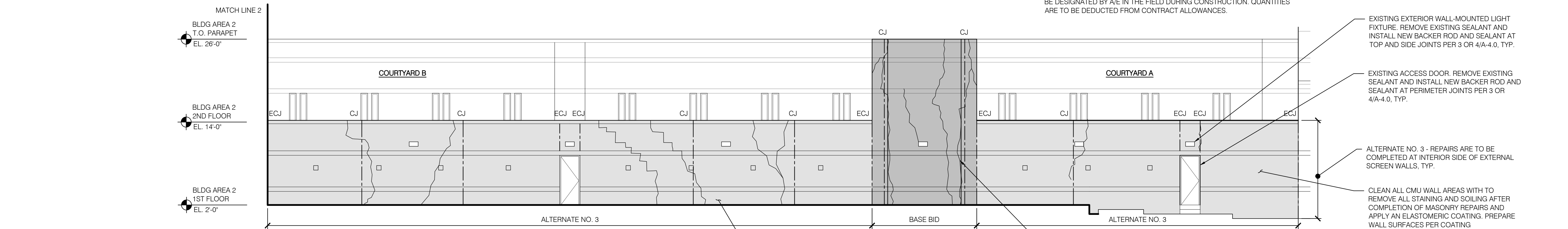


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Checked	NJH/JJW
Scale	As Noted

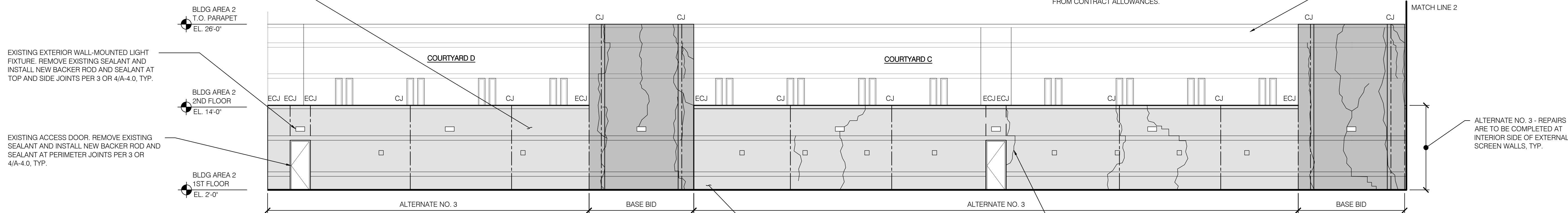
LEGEND	
ECJ	EXISTING CONTROL JOINT. REMOVE AND REPLACE SEALANT PER 3/A-4.0, TYP.
CJ	SAWCUT NEW CONTROL JOINT PER 10/A-4.0, TYP.
	EXTERIOR WALL AREAS INCLUDED IN BASE BID SCOPE OF WORK
	EXTERIOR WALL AREAS INCLUDED IN ALTERNATE SCOPE OF WORK
	REMOVE AND REBUILD CMU AT WINDOW HEADS TO INSTALL NEW THOROUGH-WALL FLASHING PER 4/A-3.4, TYP.






1 West Elevation Mechanical (Building Area 1)
 Scale: 1/8" = 1'-0"

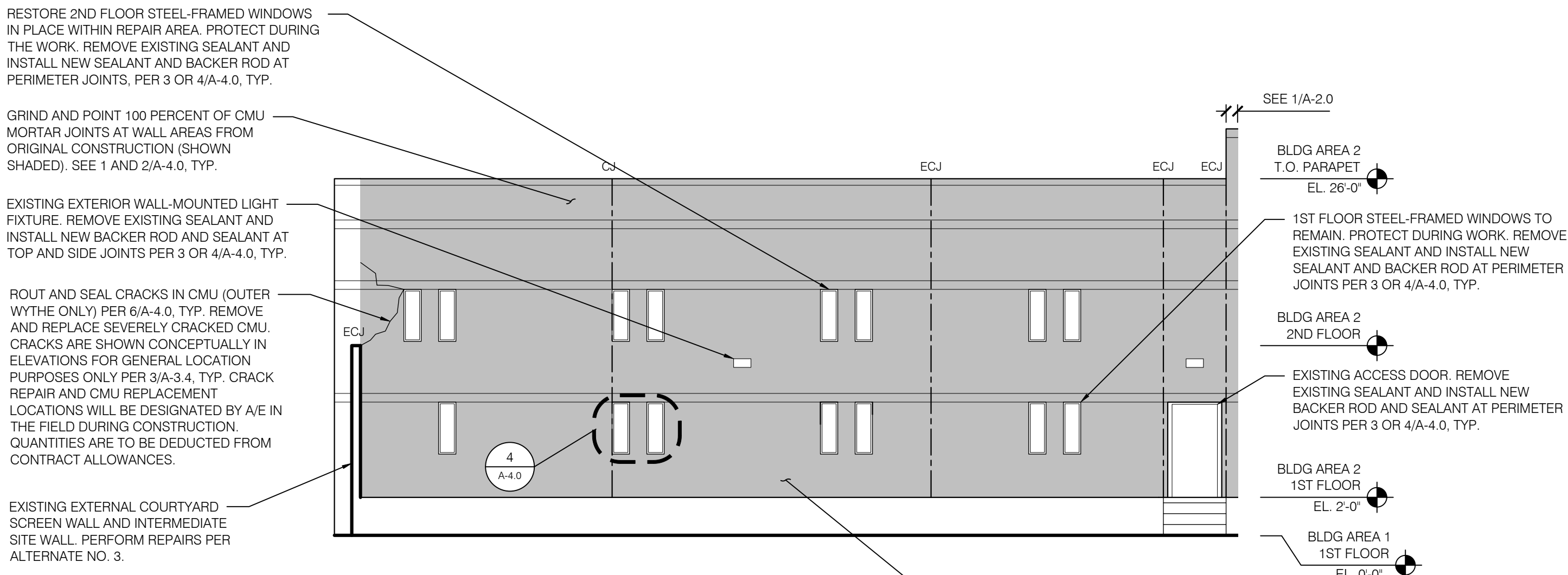
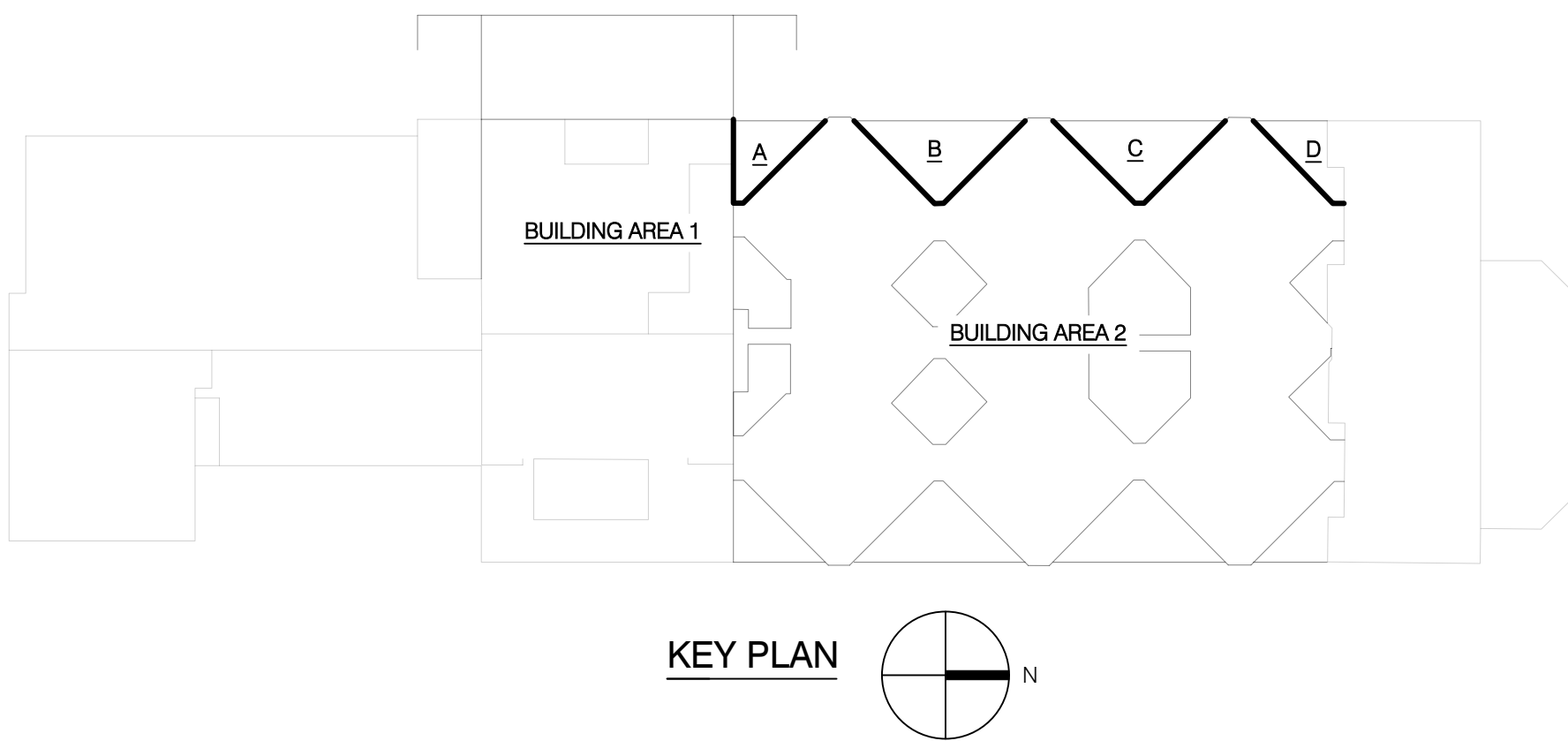


2 West Elevation - South End (Building Area 2)
 Scale: 1/8" = 1'-0"



3 West Elevation - North End (Building Area 2)
 Scale: 1/8" = 1'-0"

LEGEND	
ECJ	EXISTING CONTROL JOINT. REMOVE AND REPLACE SEALANT PER 3/A-4.0, TYP.
CJ	SAWCUT NEW CONTROL JOINT PER 10/A-4.0, TYP.
	EXTERIOR WALL AREAS INCLUDED IN BASE BID SCOPE OF WORK
	EXTERIOR WALL AREAS INCLUDED IN ALTERNATE SCOPE OF WORK
	REMOVE AND REBUILD CMU AT WINDOW HEADS TO INSTALL NEW THOROUGH-WALL FLASHING PER 4/A-3.4, TYP.



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Project No. 2023.0872.0

Date 09/18/2023

Drawn EMW/KJA

Checked NJH/JJW

Scale As Noted

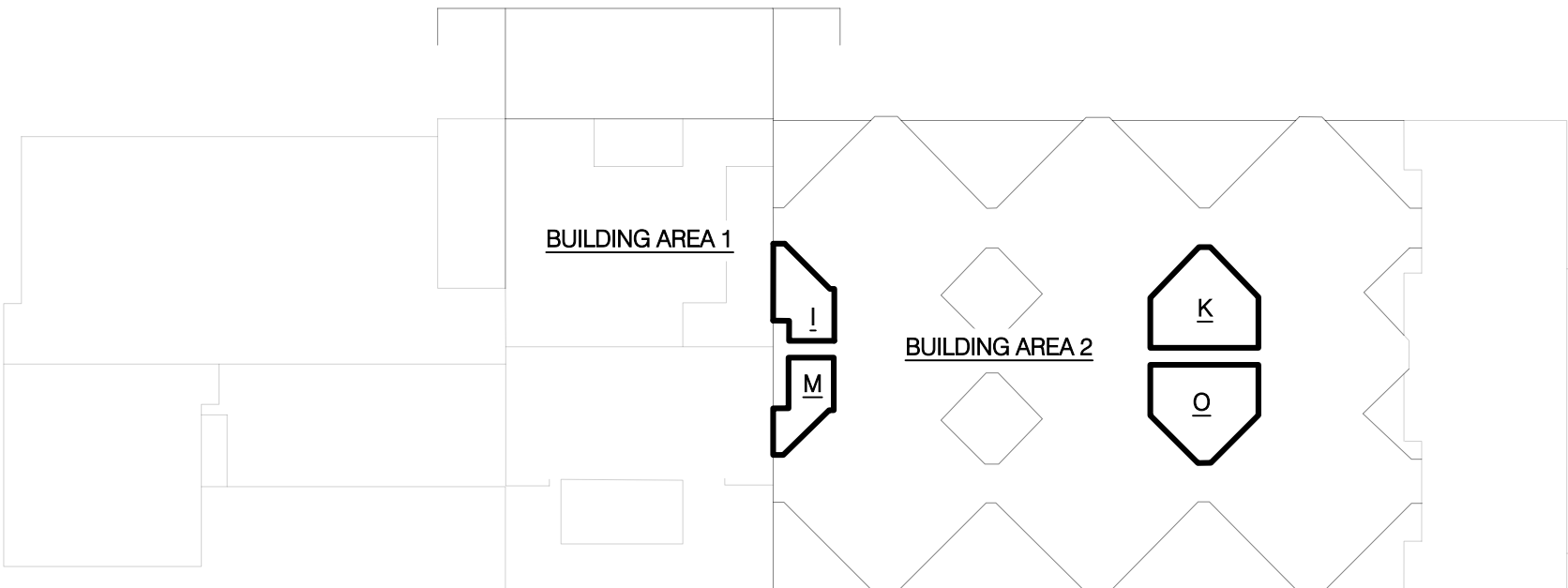
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Building Area 2
Alternate No. 4 -
Internal Courtyards

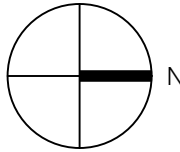
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LEGEND	
ECJ	EXISTING CONTROL JOINT. REMOVE AND REPLACE SEALANT PER 3/A-4.0, TYP.
CJ	SAWCUT NEW CONTROL JOINT PER 10/A-4.0, TYP.
	EXTERIOR WALL AREAS INCLUDED IN BASE BID SCOPE OF WORK
	EXTERIOR WALL AREAS INCLUDED IN ALTERNATE SCOPE OF WORK
	REMOVE AND REBUILD CMU AT WINDOW HEADS TO INSTALL NEW THOROUGH-WALL FLASHING PER 4/A-3.4, TYP.



KEY PLAN



CLEAN ALL CMU WALL AREAS TO REMOVE ALL STAINING AND SOILING AFTER COMPLETION OF MASONRY REPAIRS AND APPLY AN ELASTOMERIC COATING. PREPARE WALL SURFACES PER COATING MANUFACTURER'S RECOMMENDATIONS, INCLUDING REMOVAL OF WEATHERED, PEELED, OR FAILED EXISTING PAINT COATING.

EXISTING EXTERNAL COURTYARD SCREEN WALL AND INTERMEDIATE SITE WALL. PERFORM REPAIRS PER ALTERNATE NO. 3.

EXISTING BARBED WIRE SECURITY FENCING TO REMAIN. REPAIRS ARE TO BE IMPLEMENTED AROUND FENCING WITHOUT REMOVAL.

BLDG AREA 2
T.O. PARAPET
EL. 26'-0"

BLDG AREA 2
T.O. SCREEN WALL
EL. 21'-0"

BLDG AREA 2
2ND FLOOR
EL. 14'-0"

BLDG AREA 2
1ST FLOOR
EL. 2'-0"

1 Alternate No. 4 Courtyard I

Scale: 1/8" = 1'-0"

EXISTING EXTERNAL COURTYARD SCREEN WALL AND INTERMEDIATE SITE WALL. PERFORM REPAIRS PER ALTERNATE NO. 3.

BLDG AREA 2
T.O. PARAPET
EL. 26'-0"

BLDG AREA 2
T.O. SCREEN WALL
EL. 21'-0"

BLDG AREA 2
2ND FLOOR
EL. 14'-0"

BLDG AREA 2
1ST FLOOR
EL. 2'-0"

ROUT AND SEAL CRACKS IN CMU (OUTER WYTHE ONLY) PER 6/A-4.0, TYP. REMOVE AND REPLACE SEVERELY CRACKED CMU PER 3/A-3.4, TYP. CRACK REPAIR AND CMU REPLACEMENT LOCATIONS WILL BE DESIGNATED BY A/E IN THE FIELD DURING CONSTRUCTION. QUANTITIES ARE TO BE DEDUCTED FROM CONTRACT ALLOWANCES.

EXISTING EXTERIOR WALL-MOUNTED LIGHT FIXTURE. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT TOP AND SIDE JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING ACCESS DOOR. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING BARBED WIRE SECURITY FENCING TO REMAIN. REPAIRS ARE TO BE IMPLEMENTED AROUND FENCING WITHOUT REMOVAL.

2 Alternate No. 4 Courtyard K

Scale: 1/8" = 1'-0"

BLDG AREA 2
T.O. PARAPET
EL. 26'-0"

BLDG AREA 2
T.O. SCREEN WALL
EL. 21'-0"

BLDG AREA 2
2ND FLOOR
EL. 14'-0"

BLDG AREA 2
1ST FLOOR
EL. 2'-0"

CLEAN ALL CMU WALL AREAS TO REMOVE ALL STAINING AND SOILING AFTER COMPLETION OF MASONRY REPAIRS AND APPLY AN ELASTOMERIC COATING. PREPARE WALL SURFACES PER COATING MANUFACTURER'S RECOMMENDATIONS, INCLUDING REMOVAL OF WEATHERED, PEELED, OR FAILED EXISTING PAINT COATING.

GRIND AND POINT 100 PERCENT OF CMU MORTAR JOINTS AT WALL AREAS FROM ORIGINAL CONSTRUCTION (SHOWN SHADED). SEE 1 AND 2/A-4.0, TYP.

EXISTING EXTERNAL COURTYARD SCREEN WALL AND INTERMEDIATE SITE WALL. PERFORM REPAIRS PER ALTERNATE NO. 3.

EXISTING BARBED WIRE SECURITY FENCING TO REMAIN. REPAIRS ARE TO BE IMPLEMENTED AROUND FENCING WITHOUT REMOVAL.

ROUT AND SEAL CRACKS IN CMU (OUTER WYTHE ONLY) PER 6/A-4.0, TYP. REMOVE AND REPLACE SEVERELY CRACKED CMU PER 3/A-3.4, TYP. CRACK REPAIR AND CMU REPLACEMENT LOCATIONS WILL BE DESIGNATED BY A/E IN THE FIELD DURING CONSTRUCTION. QUANTITIES ARE TO BE DEDUCTED FROM CONTRACT ALLOWANCES.

3 Alternate No. 4 Courtyard M

Scale: 1/8" = 1'-0"

BLDG AREA 2
T.O. PARAPET
EL. 26'-0"

BLDG AREA 2
T.O. SCREEN WALL
EL. 21'-0"

BLDG AREA 2
2ND FLOOR
EL. 14'-0"

BLDG AREA 2
1ST FLOOR
EL. 2'-0"

EXISTING EXTERNAL COURTYARD SCREEN WALL AND INTERMEDIATE SITE WALL. PERFORM REPAIRS PER ALTERNATE NO. 3.

EXISTING ACCESS DOOR. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT PERIMETER JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING EXTERIOR WALL-MOUNTED LIGHT FIXTURE. REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT AT TOP AND SIDE JOINTS PER 3 OR 4/A-4.0, TYP.

EXISTING BARBED WIRE SECURITY FENCING TO REMAIN. REPAIRS ARE TO BE IMPLEMENTED AROUND FENCING WITHOUT REMOVAL.

4 Alternate No. 4 Courtyard O

Scale: 1/8" = 1'-0"

CLEAN ALL CMU WALL AREAS TO REMOVE ALL STAINING AND SOILING AFTER COMPLETION OF MASONRY REPAIRS AND APPLY AN ELASTOMERIC COATING. PREPARE WALL SURFACES PER COATING MANUFACTURER'S RECOMMENDATIONS, INCLUDING REMOVAL OF WEATHERED, PEELED, OR FAILED EXISTING PAINT COATING.

ROUT AND SEAL CRACKS IN CMU (OUTER WYTHE ONLY) PER 6/A-4.0, TYP. REMOVE AND REPLACE SEVERELY CRACKED CMU PER 3/A-3.4, TYP. CRACK REPAIR AND CMU REPLACEMENT LOCATIONS WILL BE DESIGNATED BY A/E IN THE FIELD DURING CONSTRUCTION. QUANTITIES ARE TO BE DEDUCTED FROM CONTRACT ALLOWANCES.

GRIND AND POINT 100 PERCENT OF CMU MORTAR JOINTS AT WALL AREAS FROM ORIGINAL CONSTRUCTION (SHOWN SHADED). SEE 1 AND 2/A-4.0, TYP.

2	09/18/2023	Addendum 2
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Project No. 2023.0872.0

Date 09/18/2023

Drawn GM

Checked PS

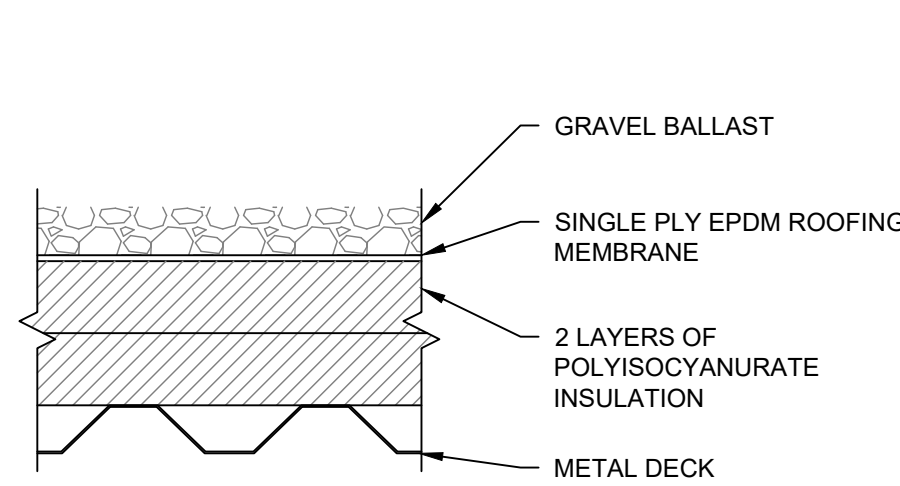
Scale As Noted

Roofing Details

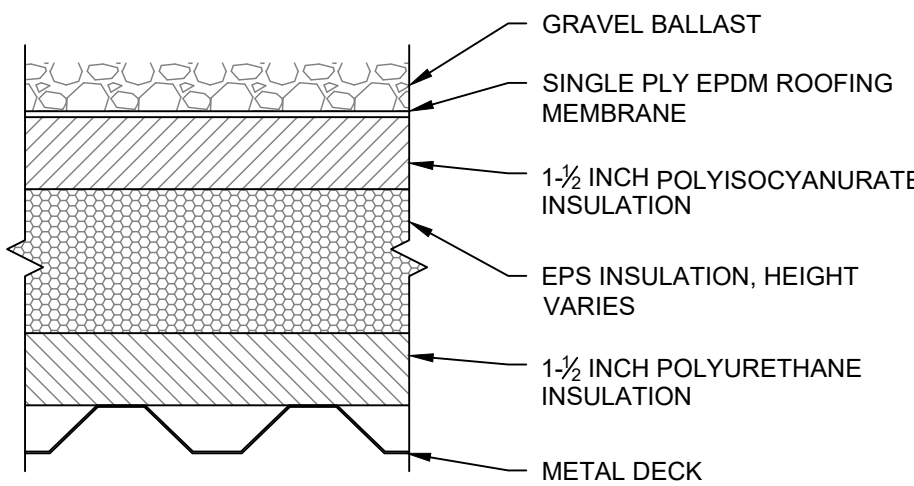
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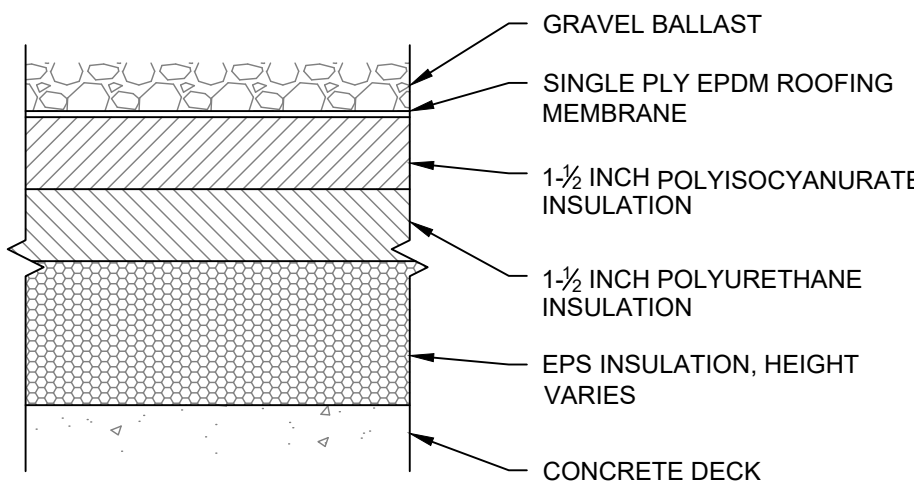
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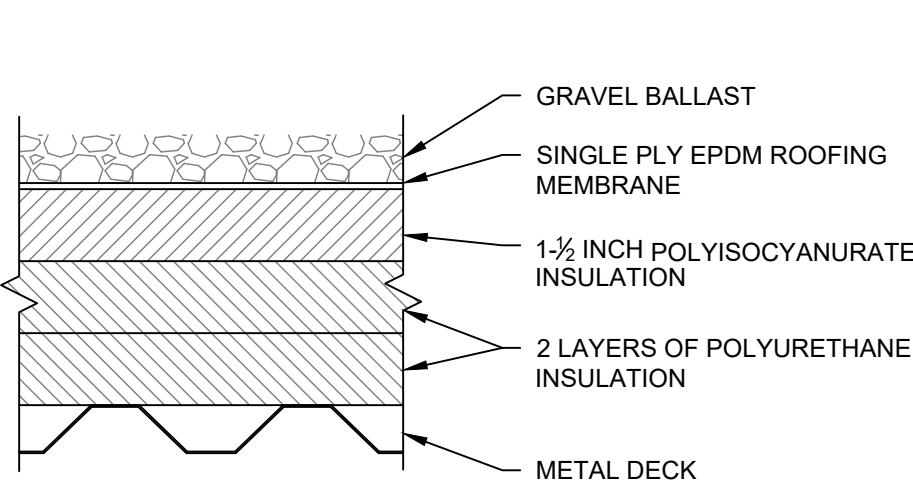
1 Existing Roofing System 1
SCALE: 3" = 1'-0"
ROOF 1, 2, 4, 10, 11, 12, AND 13



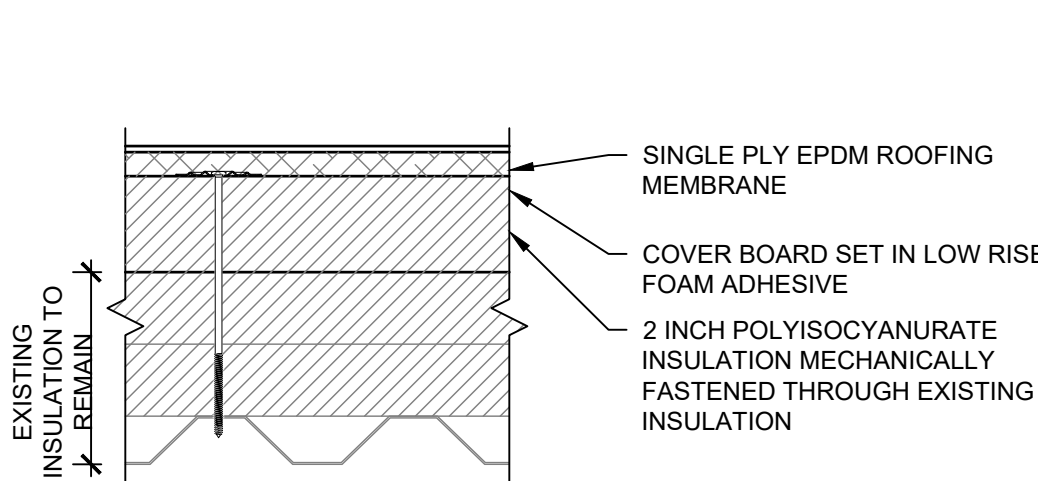
2 Existing Roofing System 2
SCALE: 3" = 1'-0"
ROOF 3, 6, AND 7



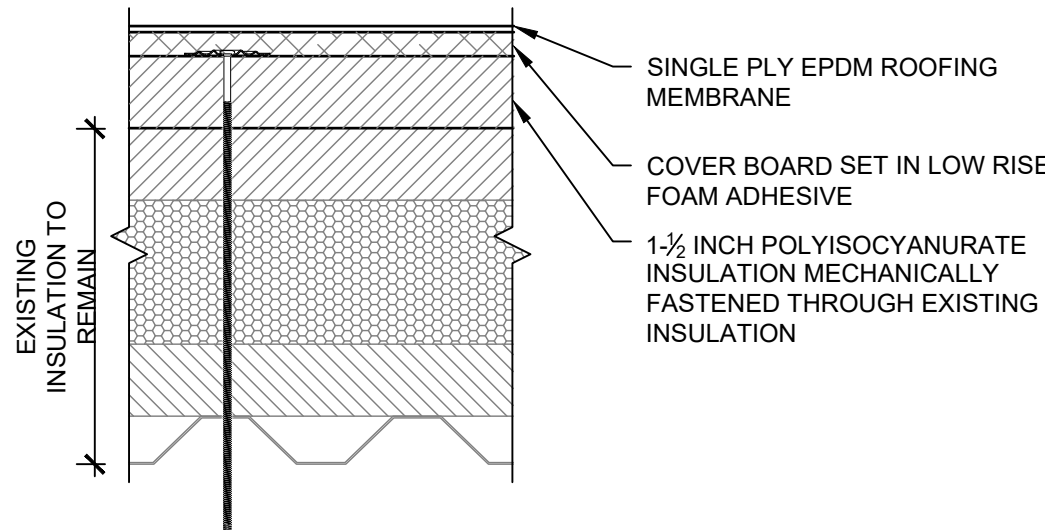
3 Existing Roofing System 3
SCALE: 3" = 1'-0"
ROOF 5



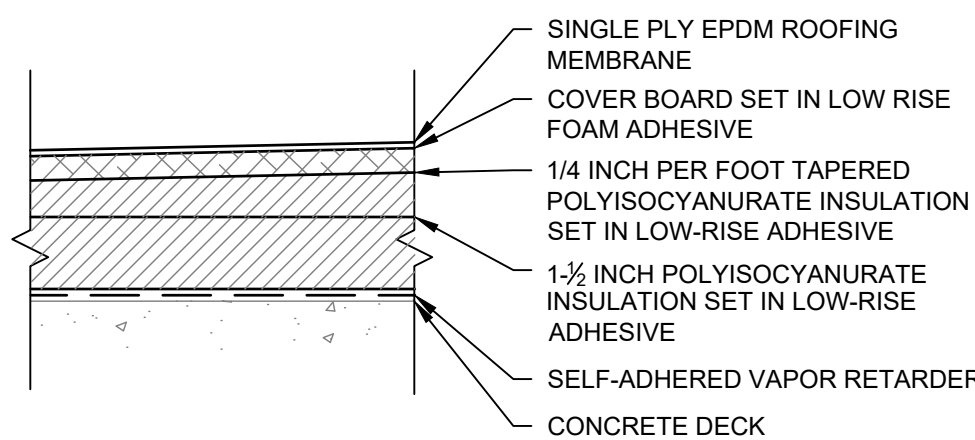
4 Existing Roofing System 4
SCALE: 3" = 1'-0"
ROOF 9



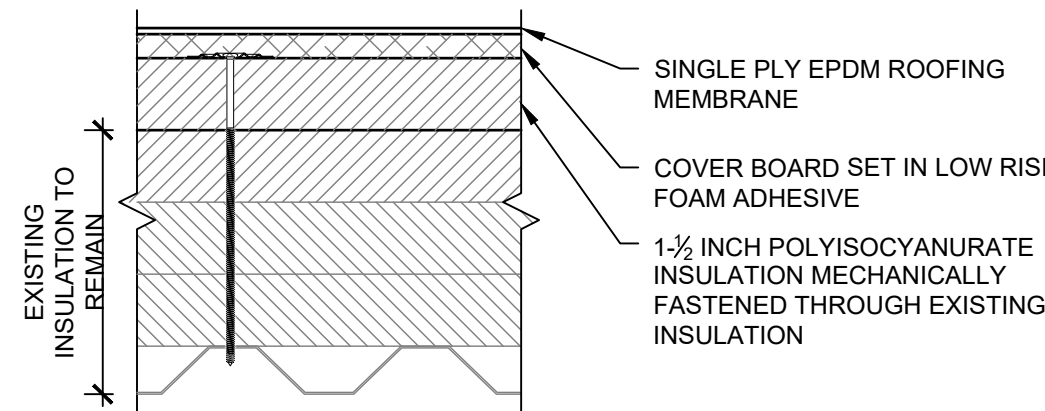
5 New Roofing System 1
SCALE: 3" = 1'-0"
ROOF 1, 2, 4, 10, 11, AND 13



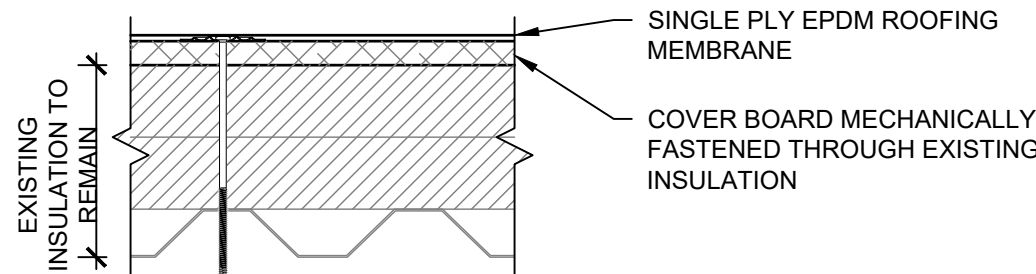
6 New Roofing System 2
SCALE: 3" = 1'-0"
ROOF 3, 6, AND 7



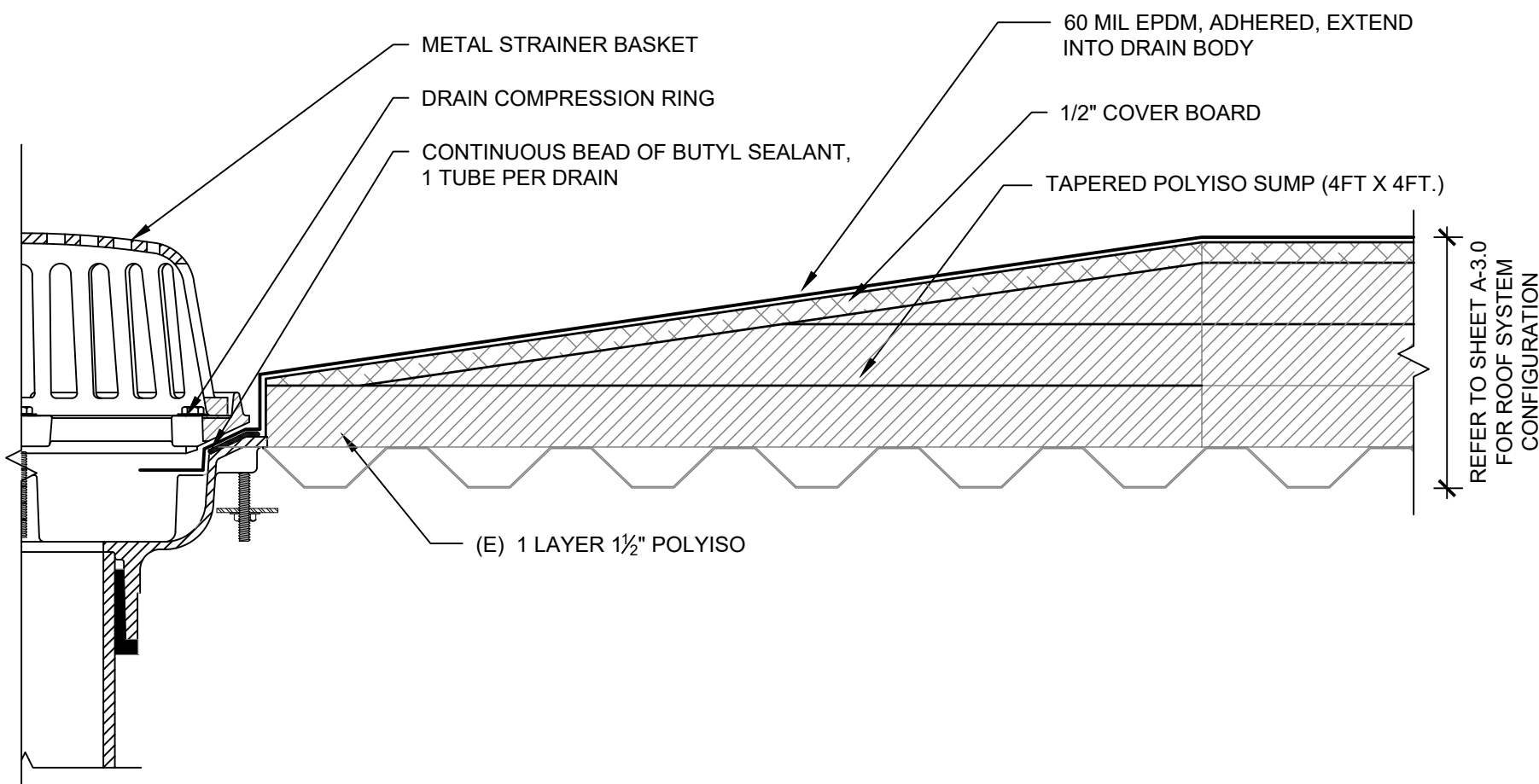
7 New Roofing System 3
SCALE: 3" = 1'-0"
ROOF 5



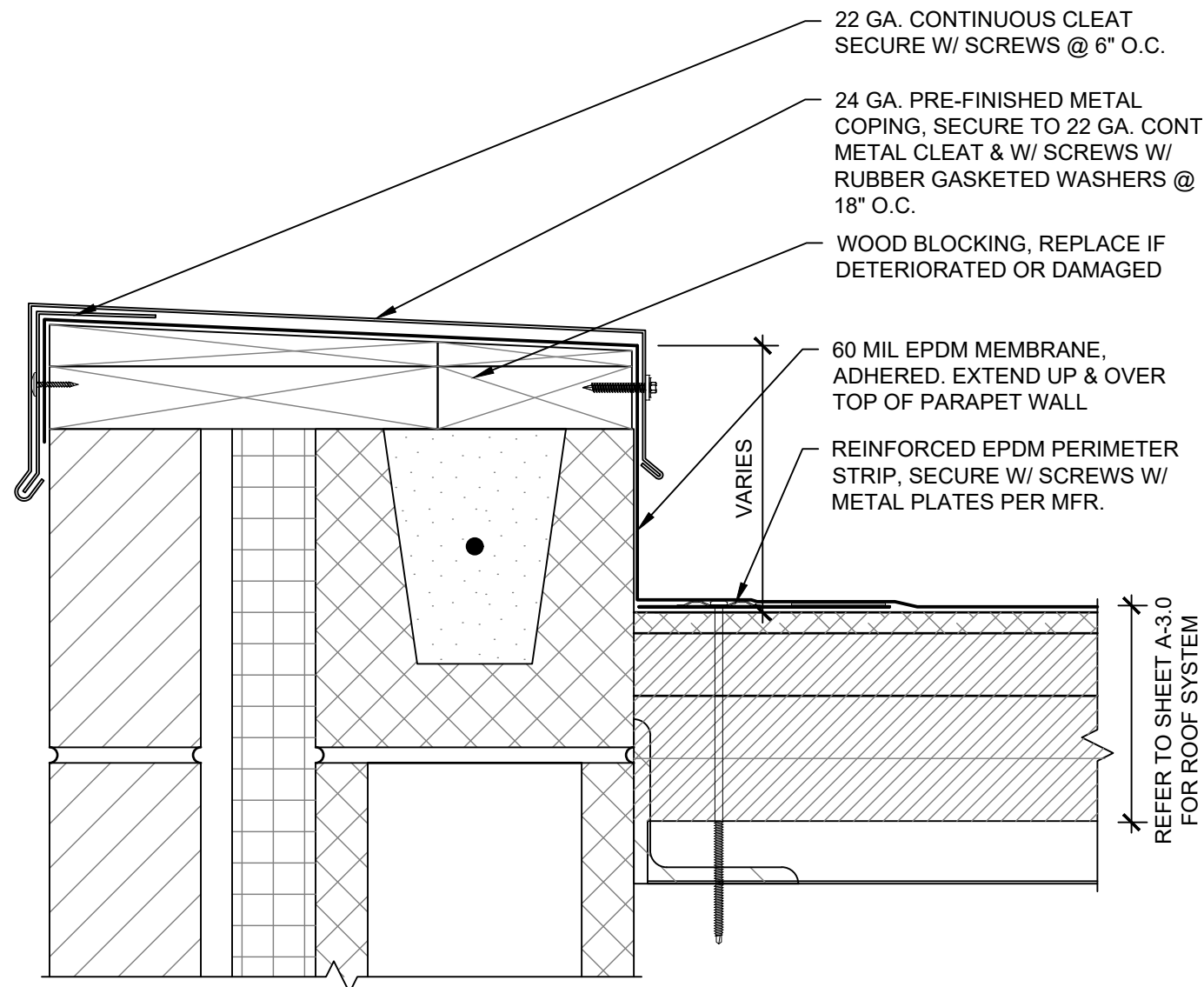
8 New Roofing System 4
SCALE: 3" = 1'-0"
ROOF 9



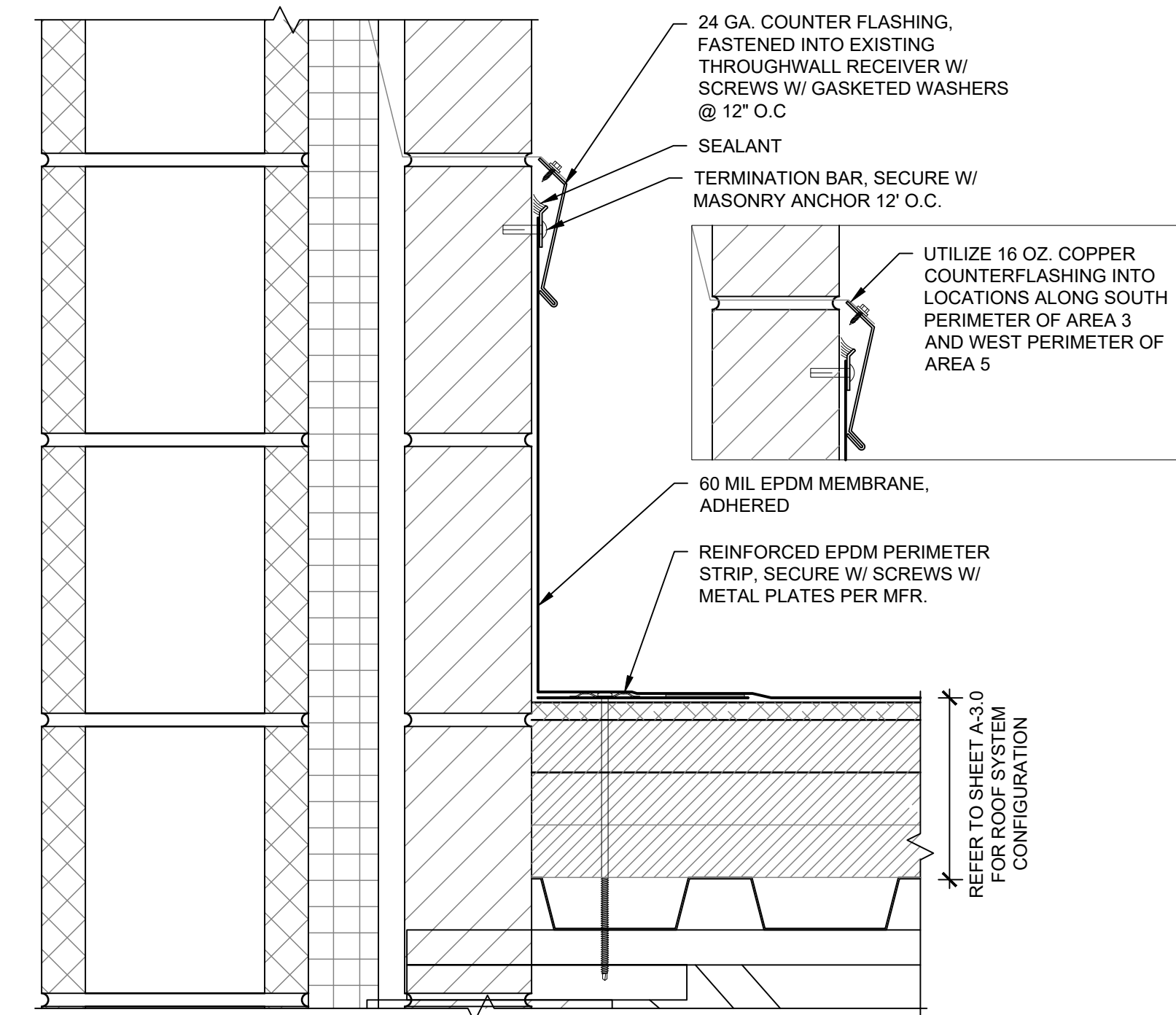
9 New Roofing System 5
SCALE: 3" = 1'-0"
ROOF 12



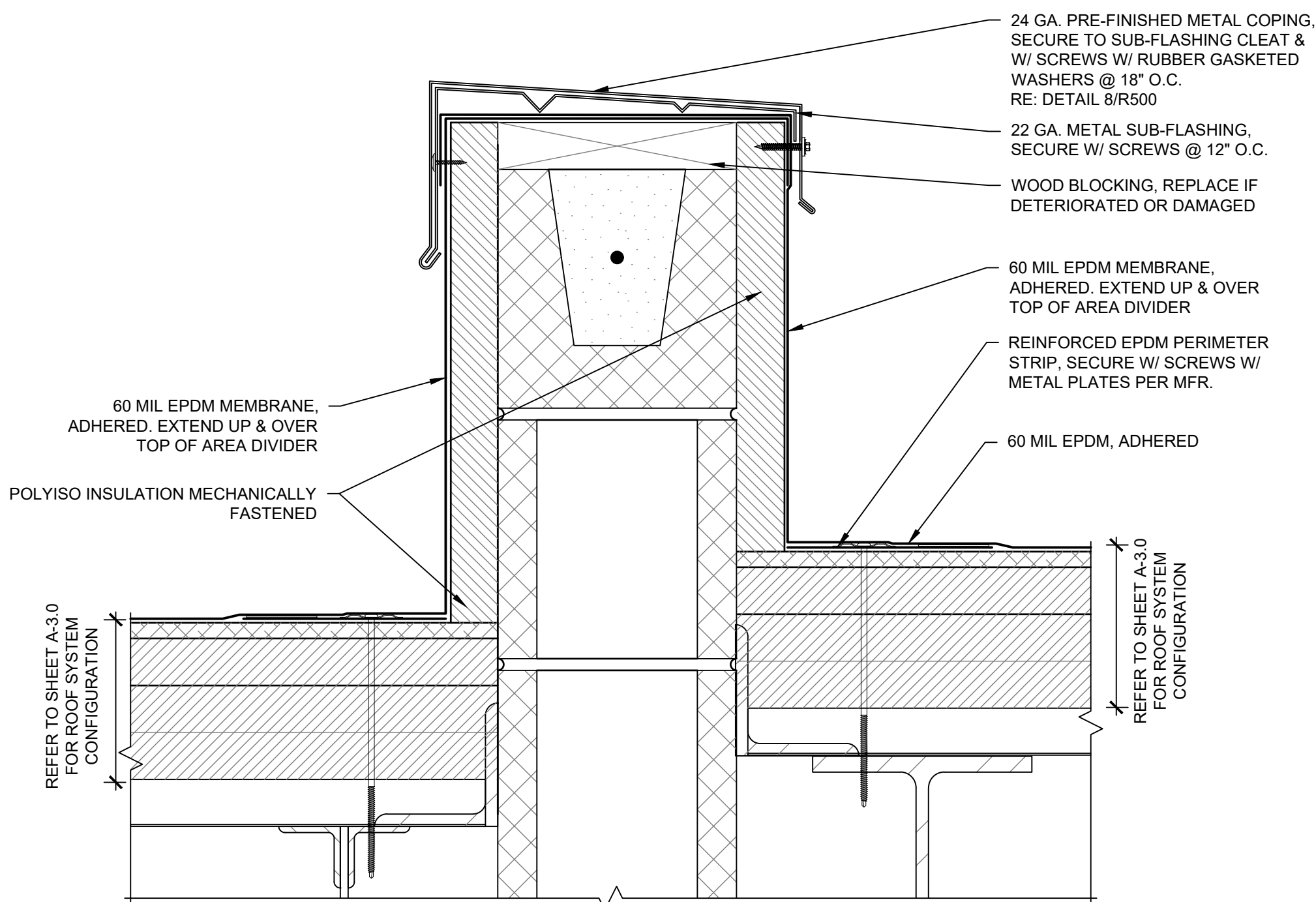
10 Roof Drain
SCALE: 3" = 1'-0"



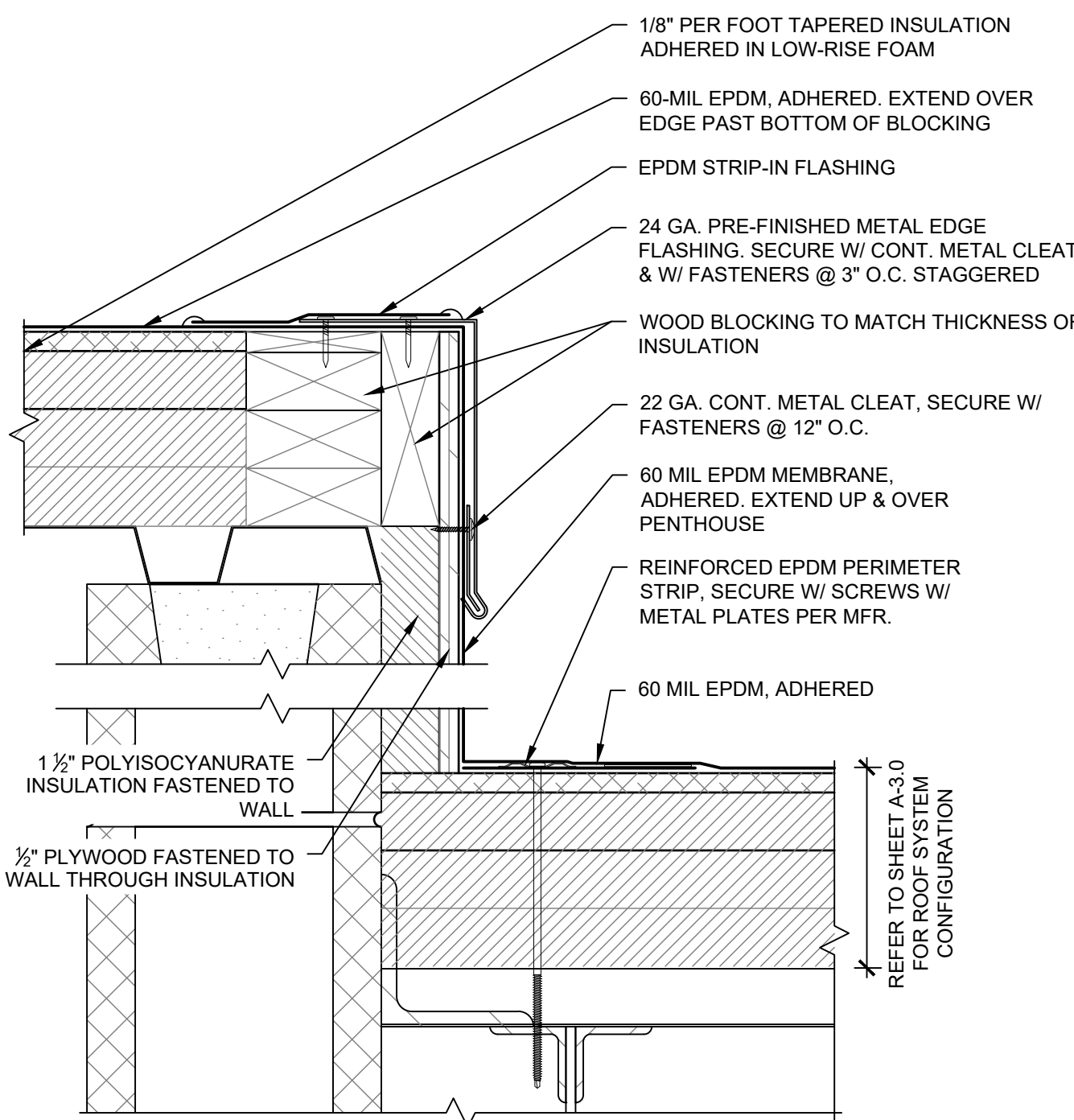
2 Parapet
SCALE: 3" = 1'-0"



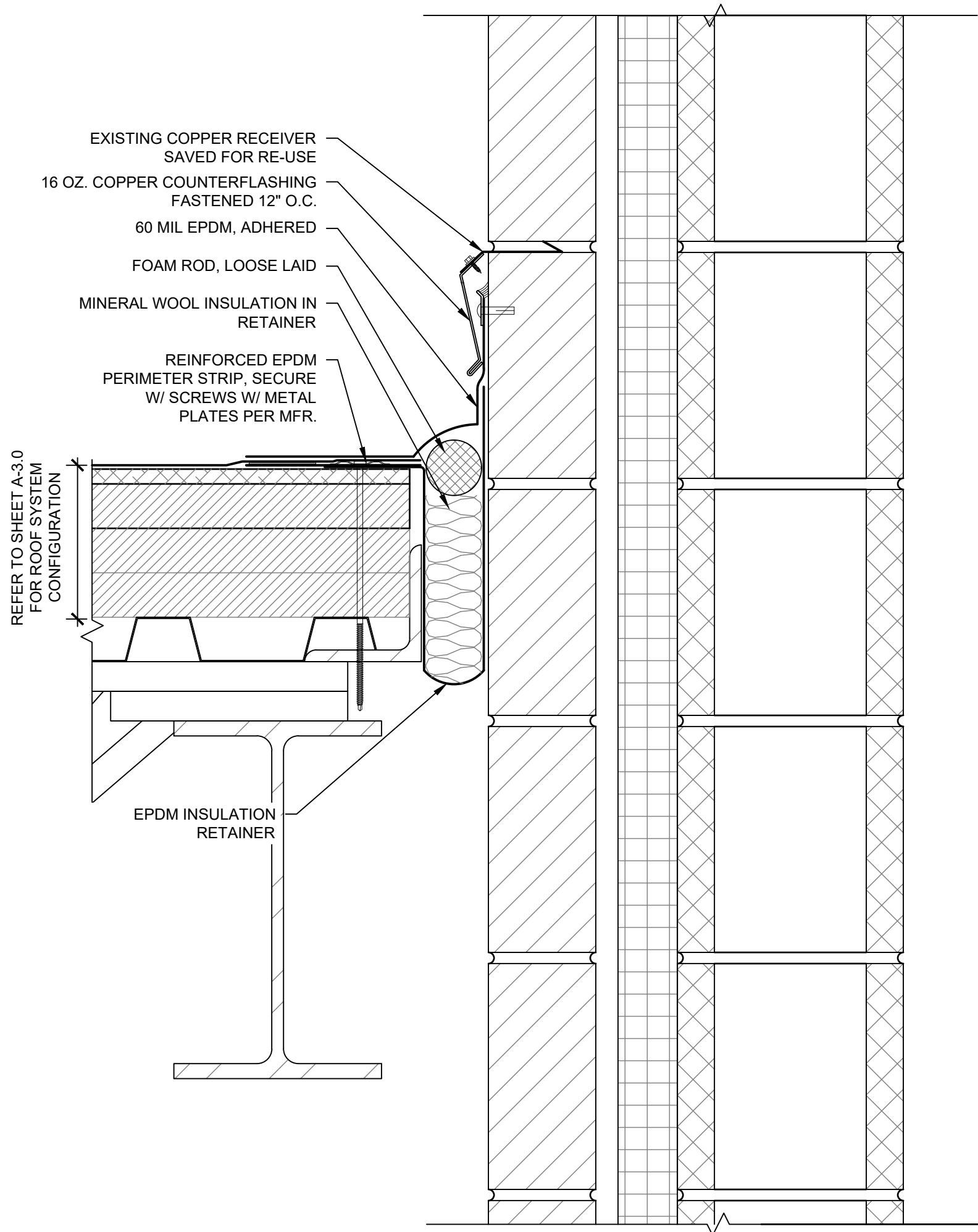
4 Base of Wall
SCALE: 3" = 1'-0"



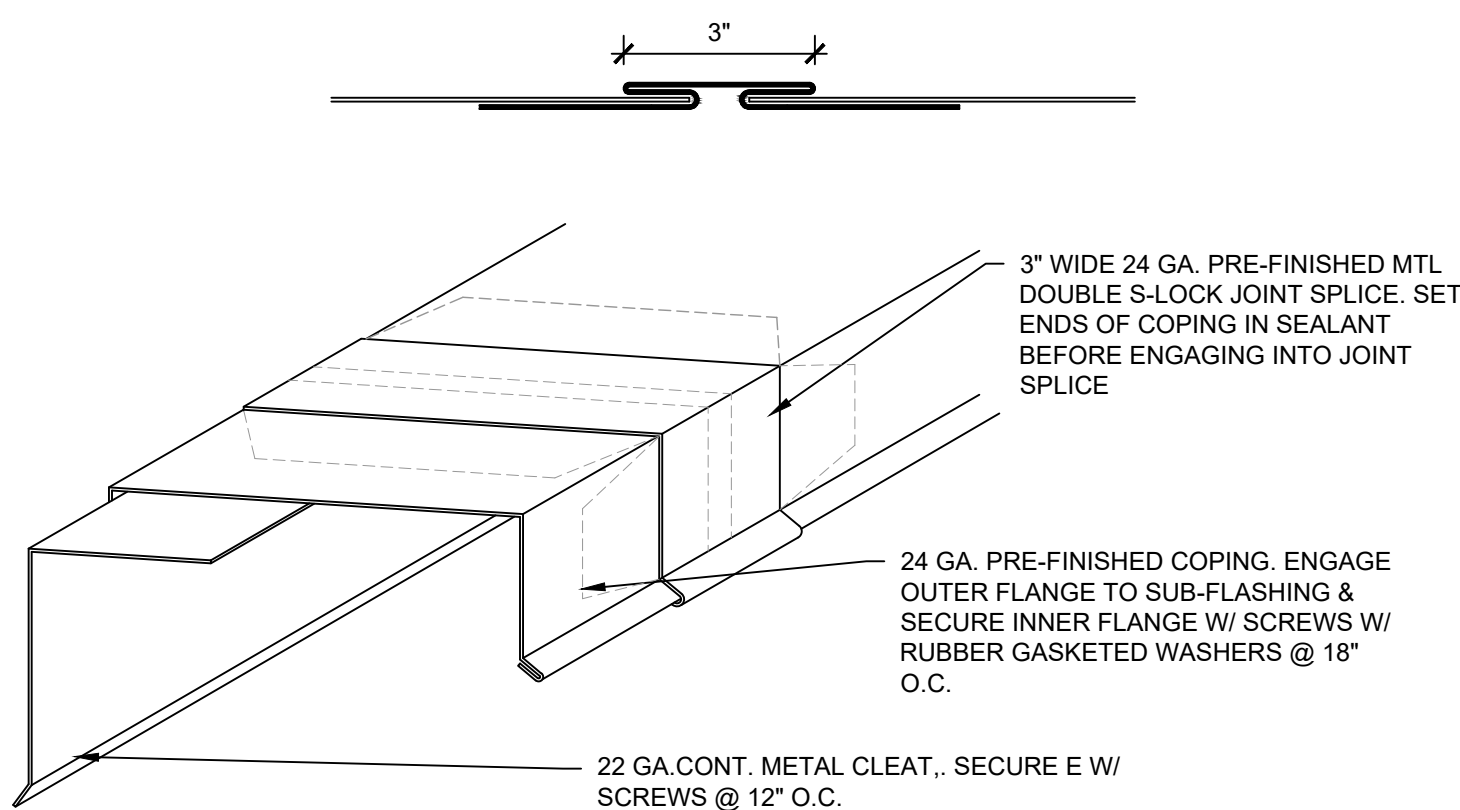
3 Area Divider
SCALE: 3" = 1'-0"



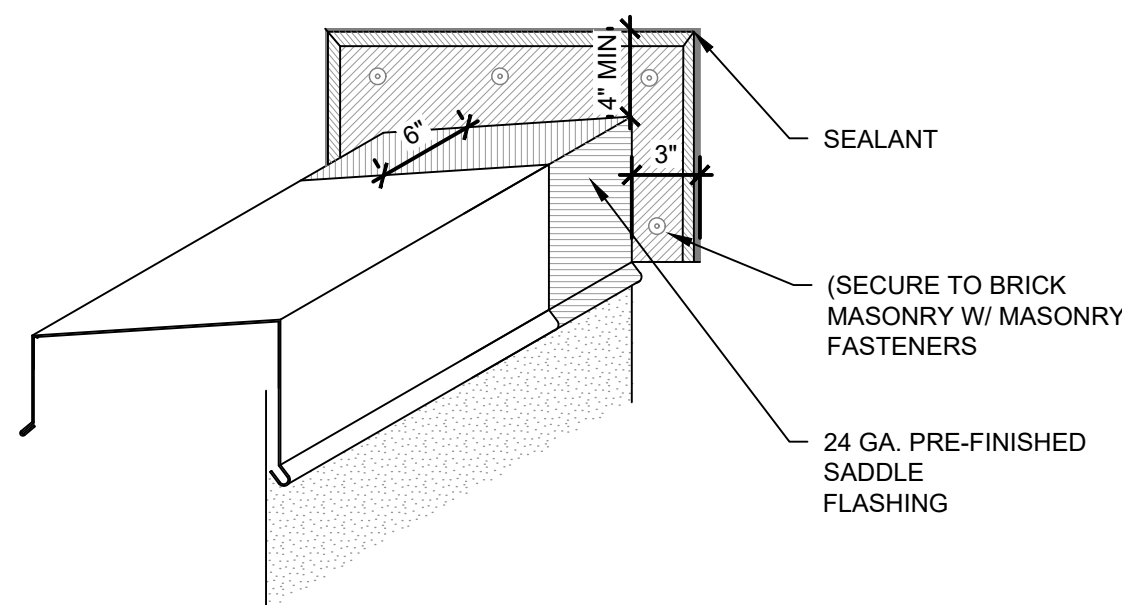
5 Elevator Penthouse
SCALE: 3" = 1'-0"



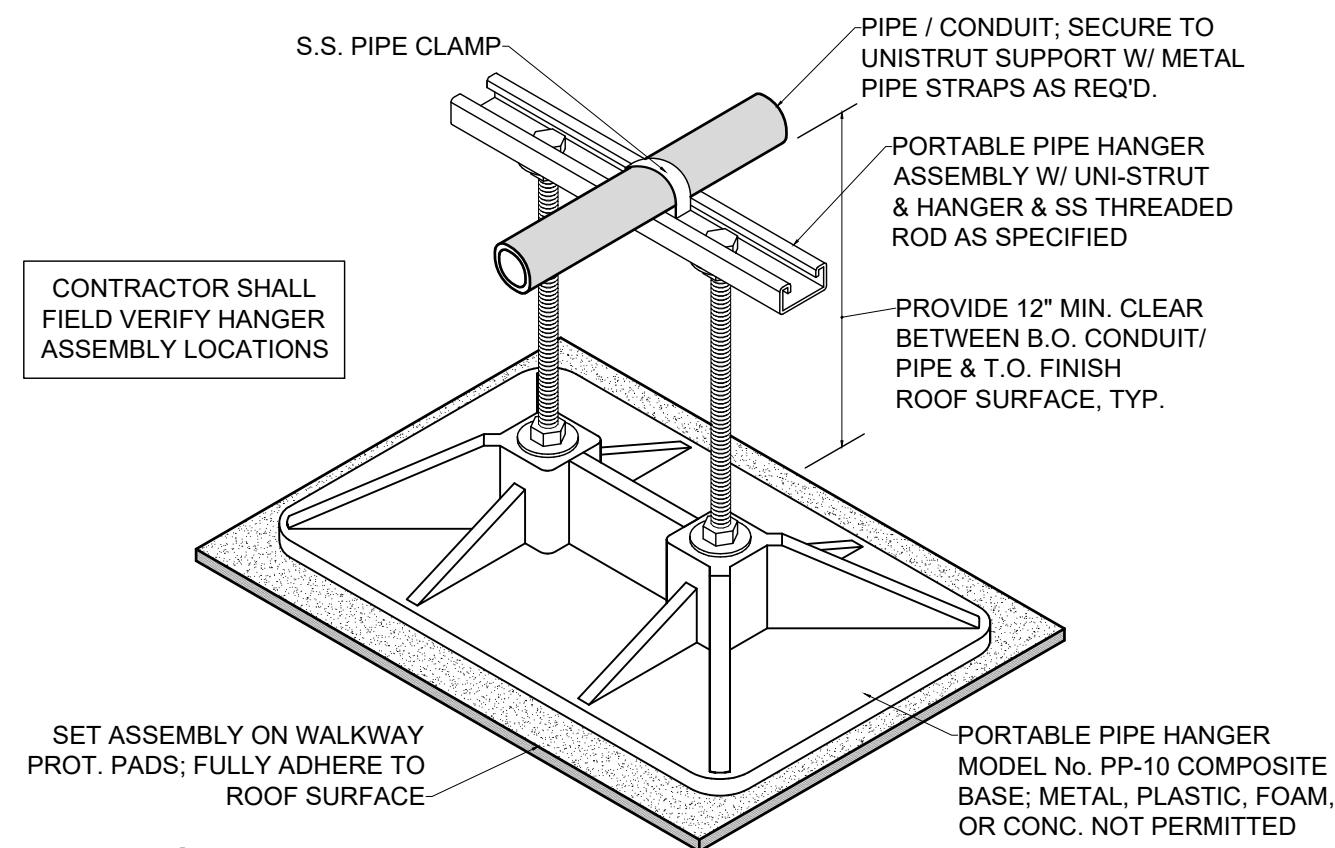
1 Wall Expansion Joint Detail
SCALE: 3" = 1'-0"



6 Coping Profile
SCALE: 3" = 1'-0"



7 Coping to Wall
SCALE: 3" = 1'-0"



8 Pipe Support
SCALE: 3" = 1'-0"

Consultants

Project

Will County Adult Detention
 Facility - Roofing Replacement
 95 South Chicago Street
 Joliet, Illinois 60436

Client

Will County Purchasing
 Department
 302 North Chicago Street
 Joliet, Illinois 60432

Mark	Date	Description
2	09/18/2023	Addendum 2



Project No. 2023.0872.0

Date 09/18/2023

Drawn GM

Checked PS

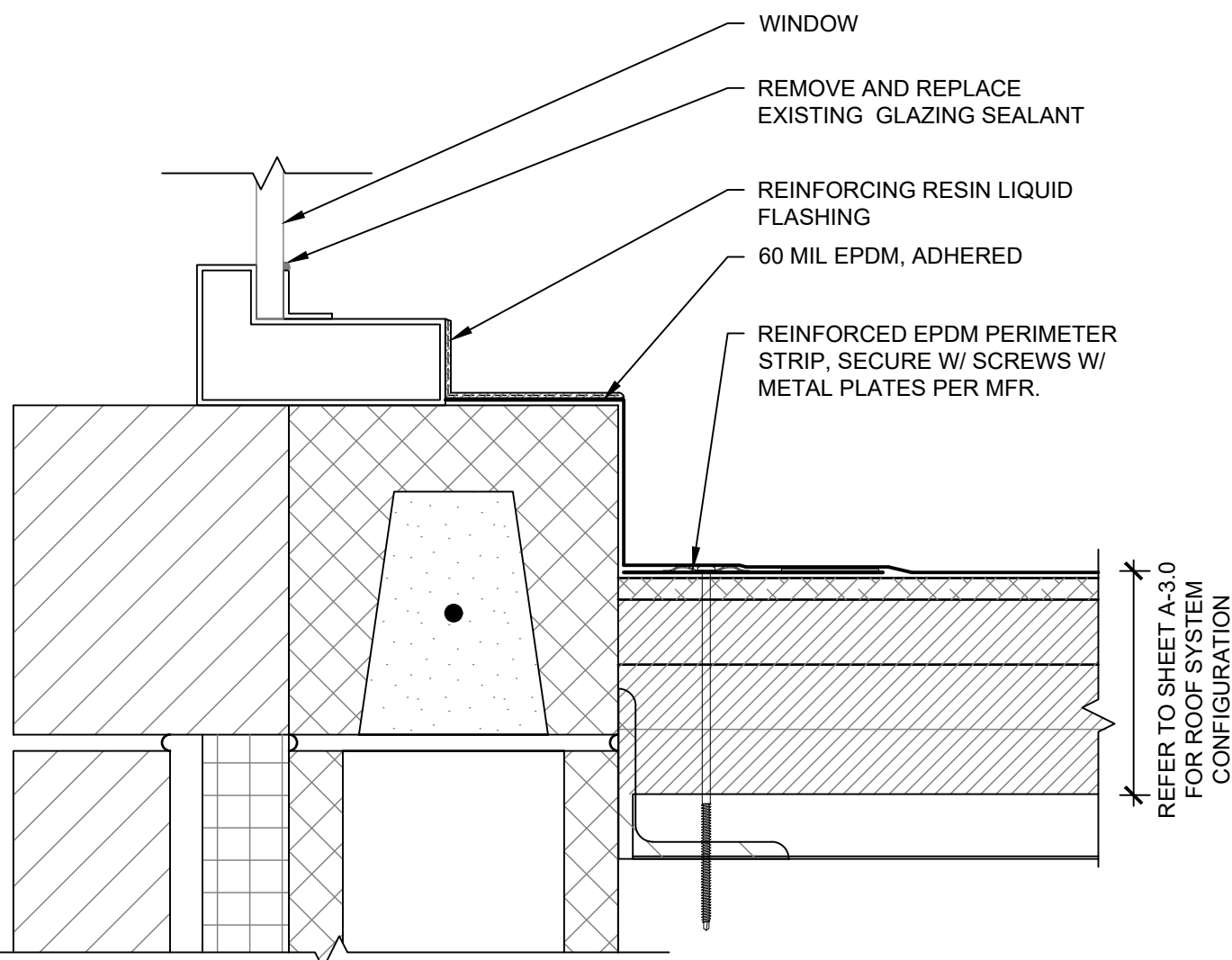
Scale As Noted

Sheet Title

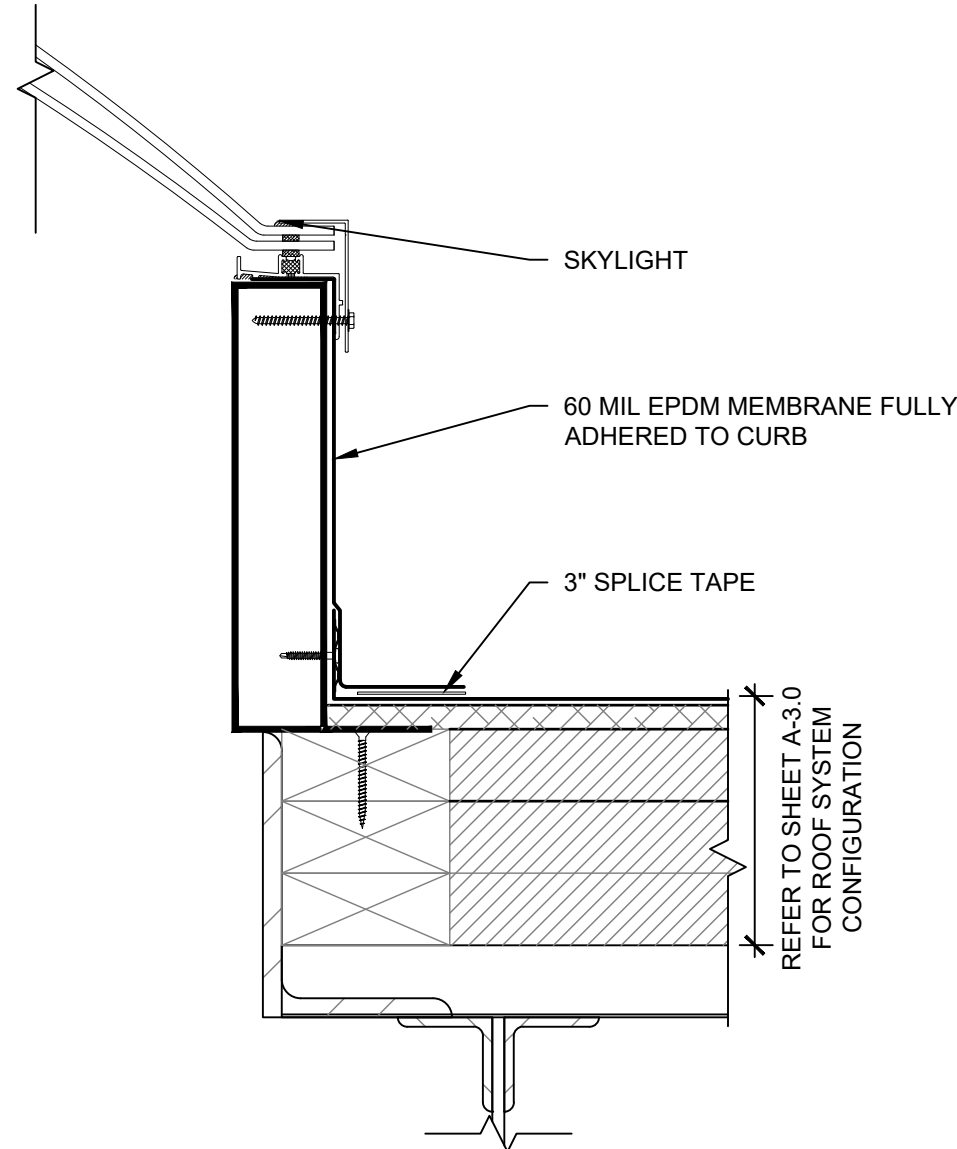
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Roofing Details

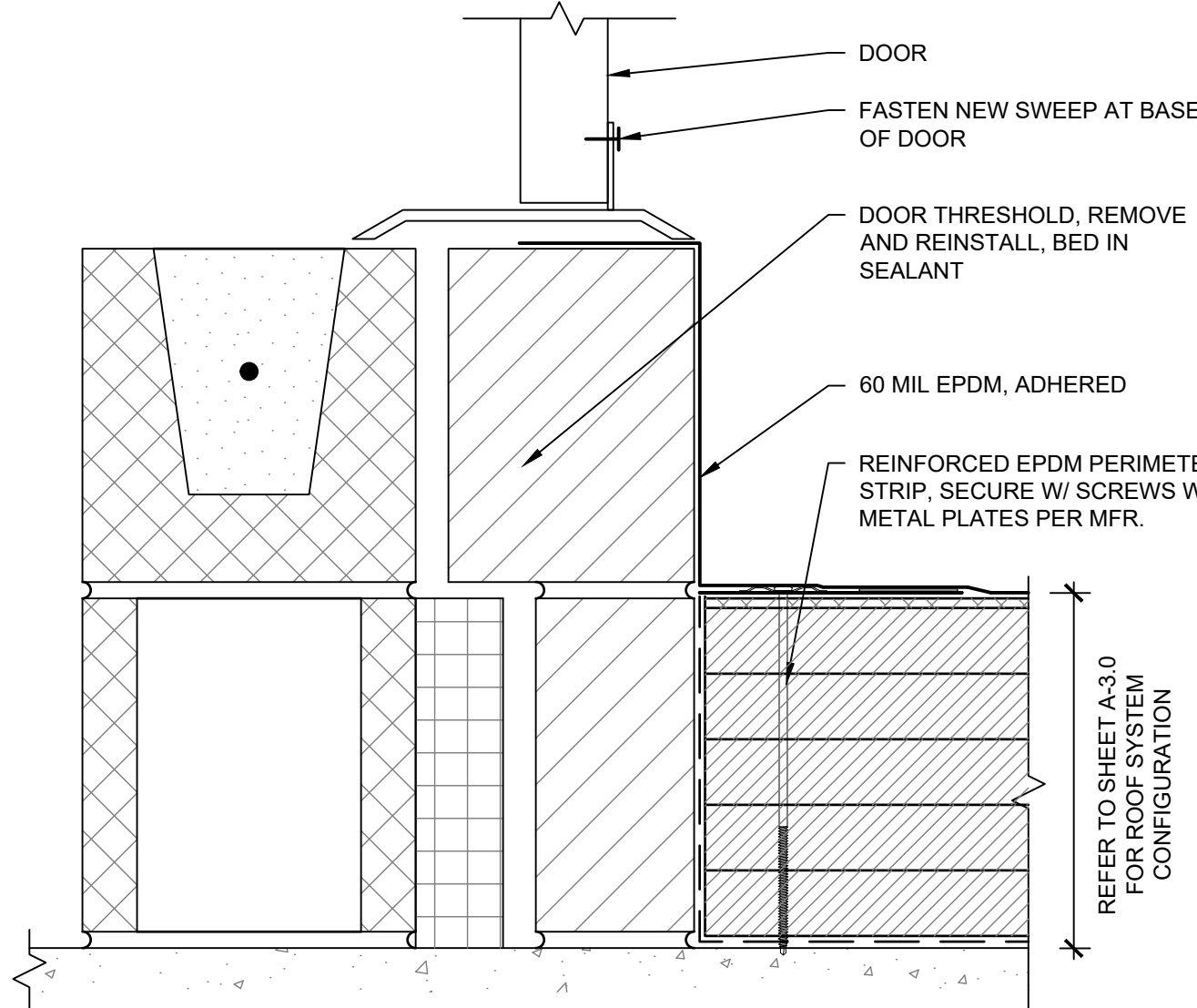
A-3.2



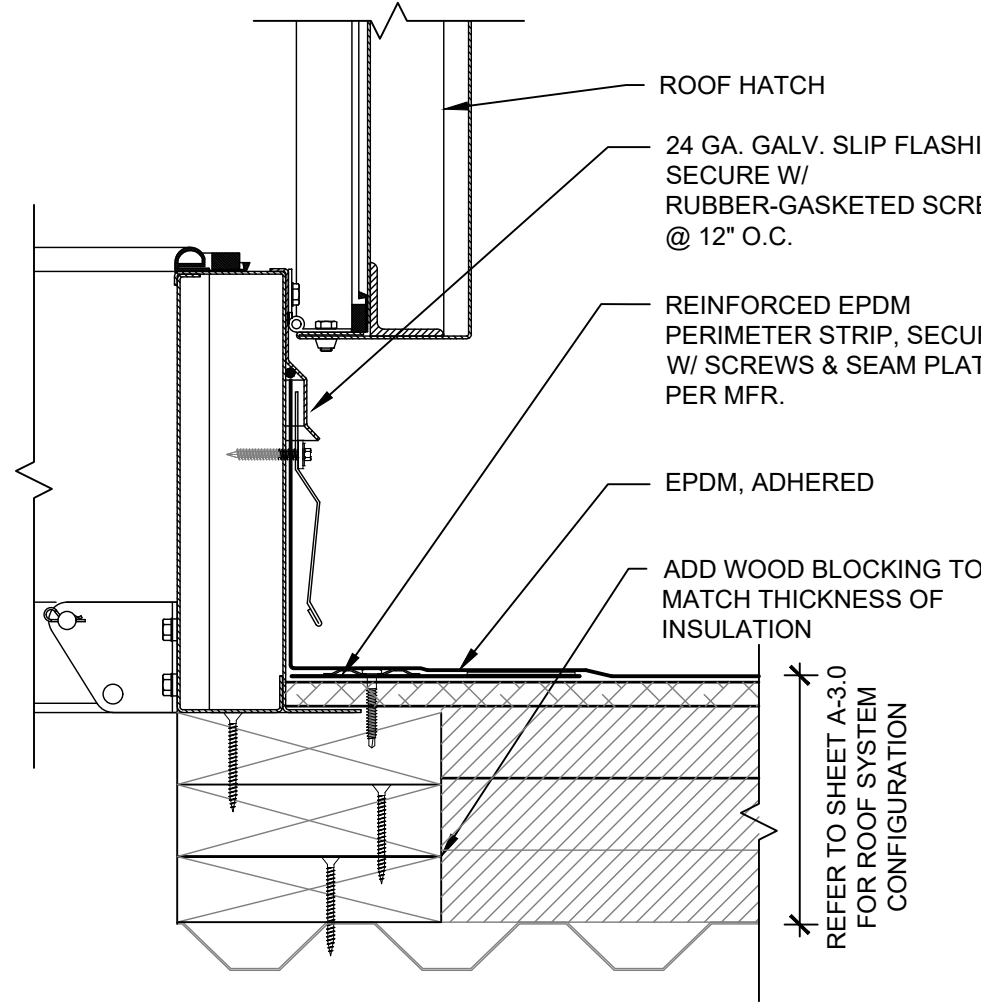
1 Window Sill
SCALE: 3" = 1'-0"



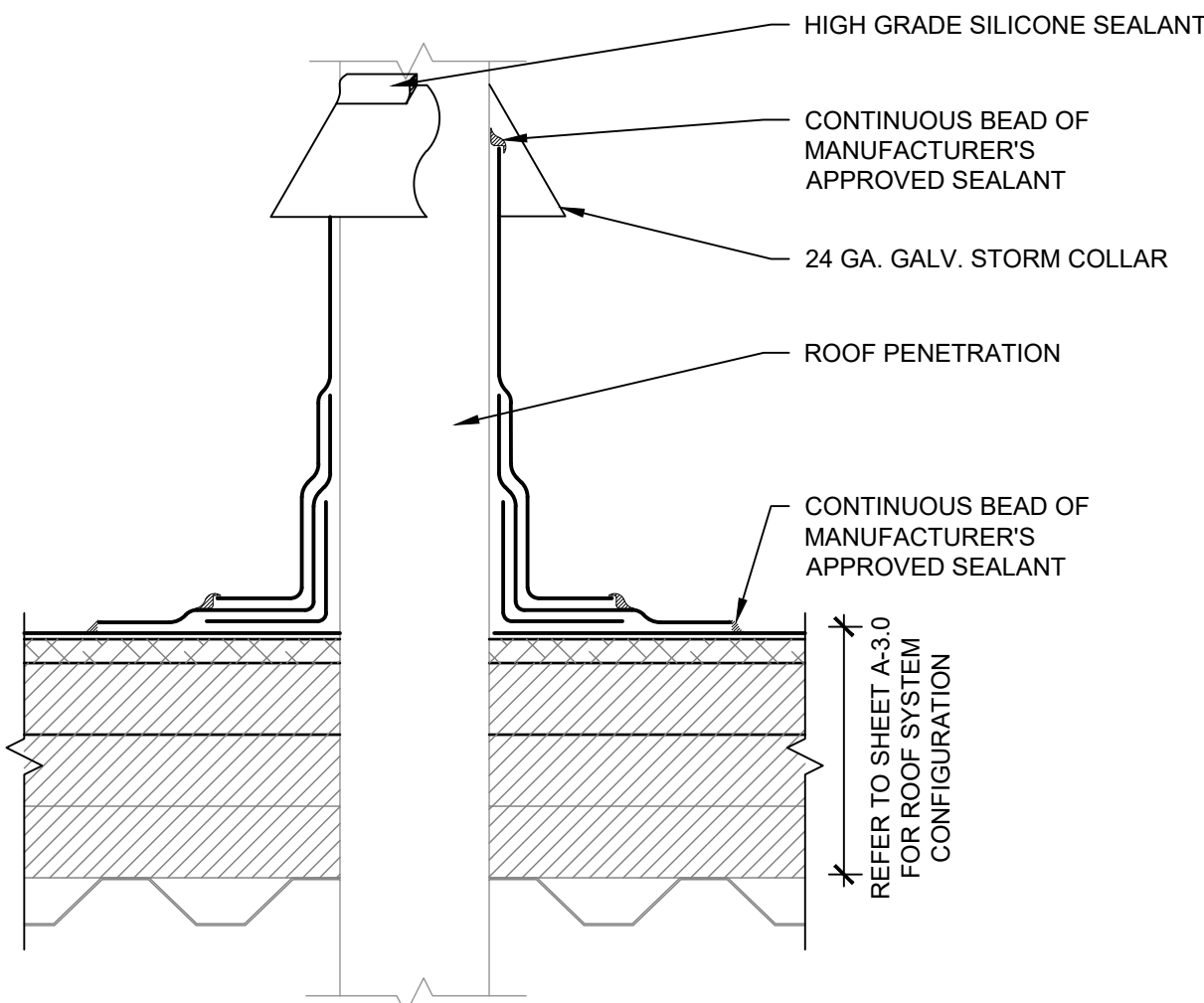
2 Skylight
SCALE: 3" = 1'-0"



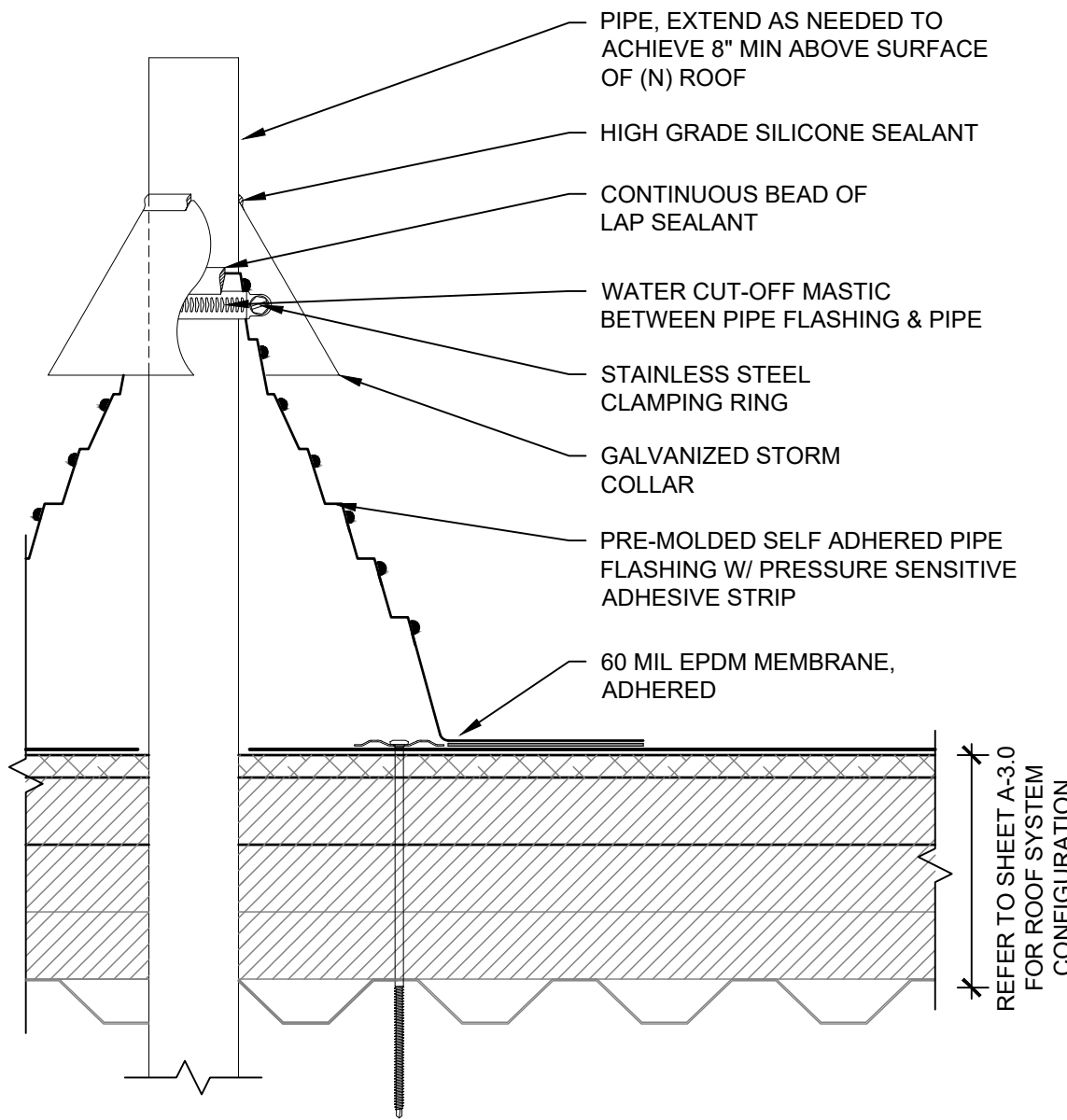
3 Door Sill
SCALE: 3" = 1'-0"



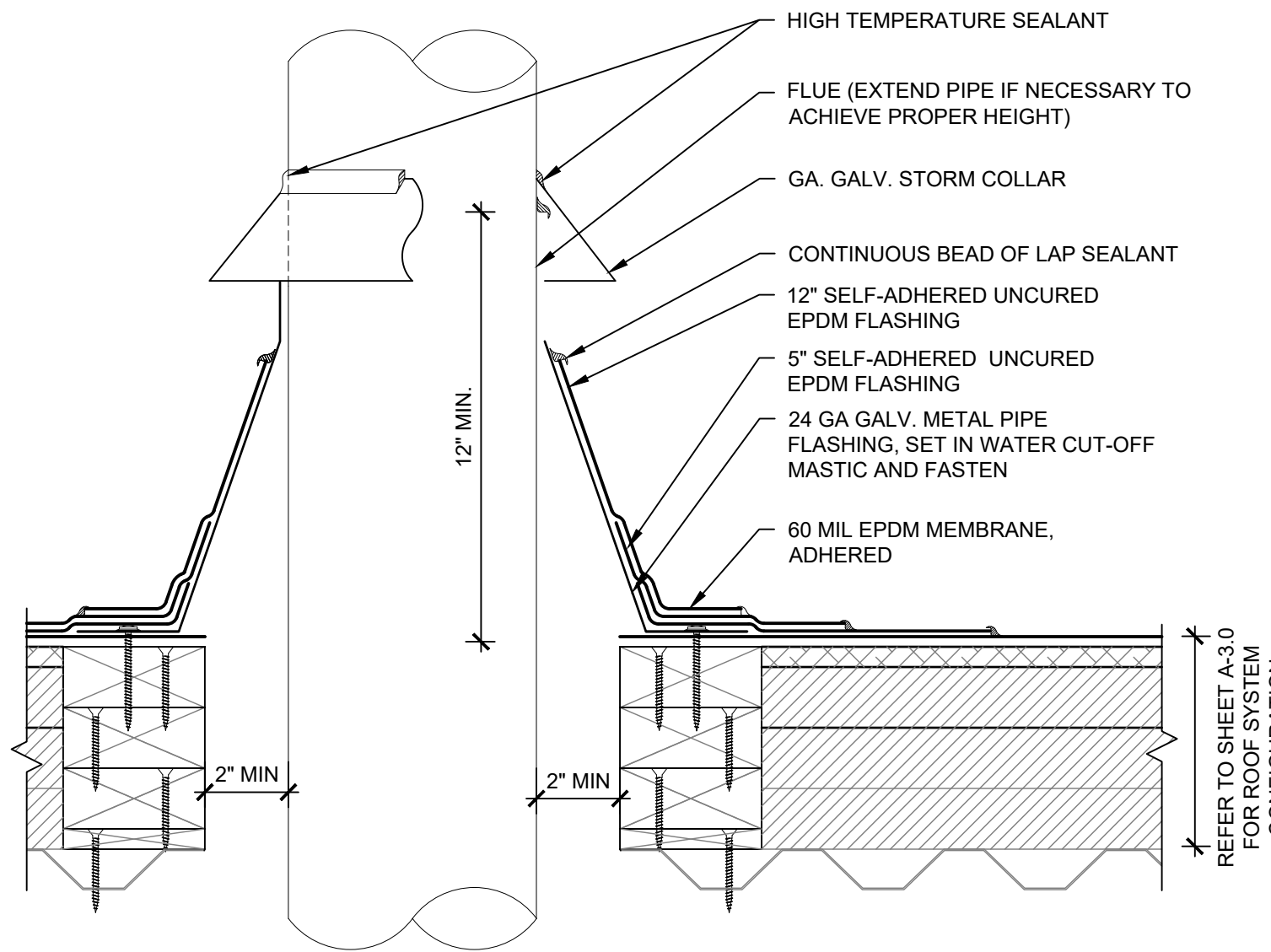
4 Hatch
SCALE: 3" = 1'-0"



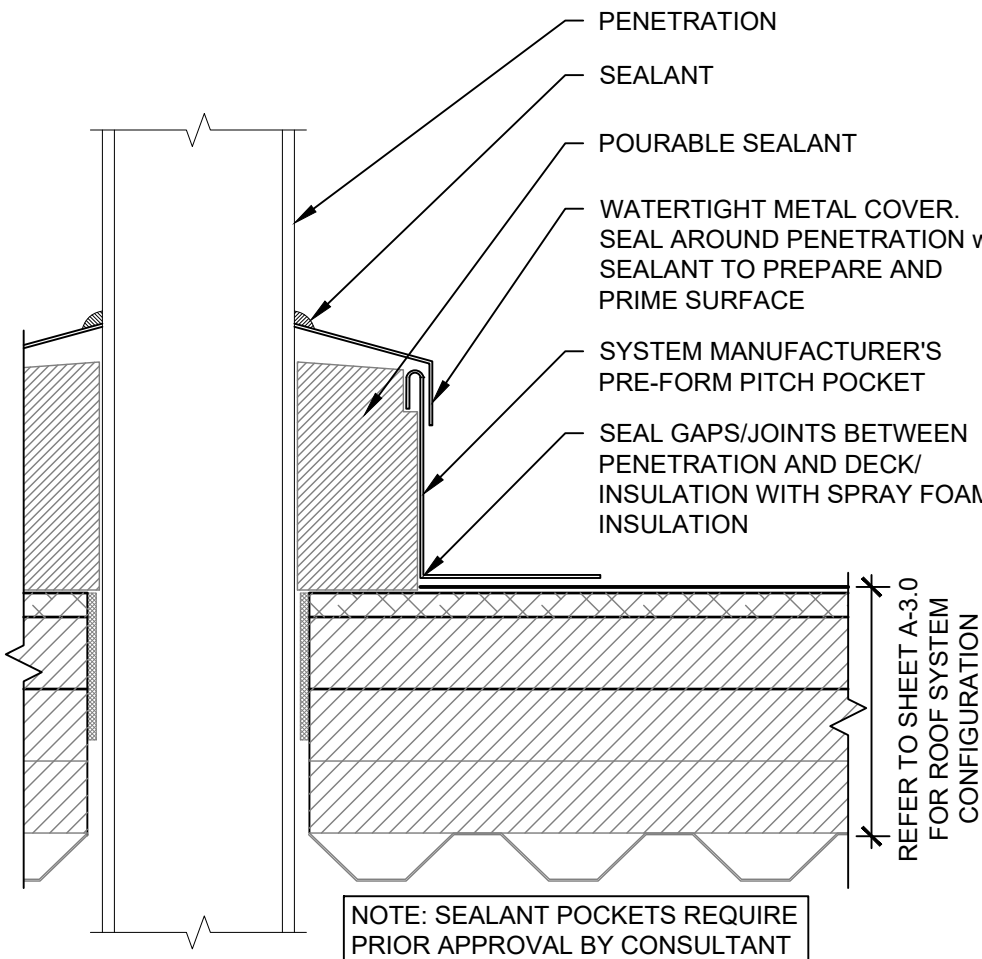
5 Pipe
SCALE: 3" = 1'-0"



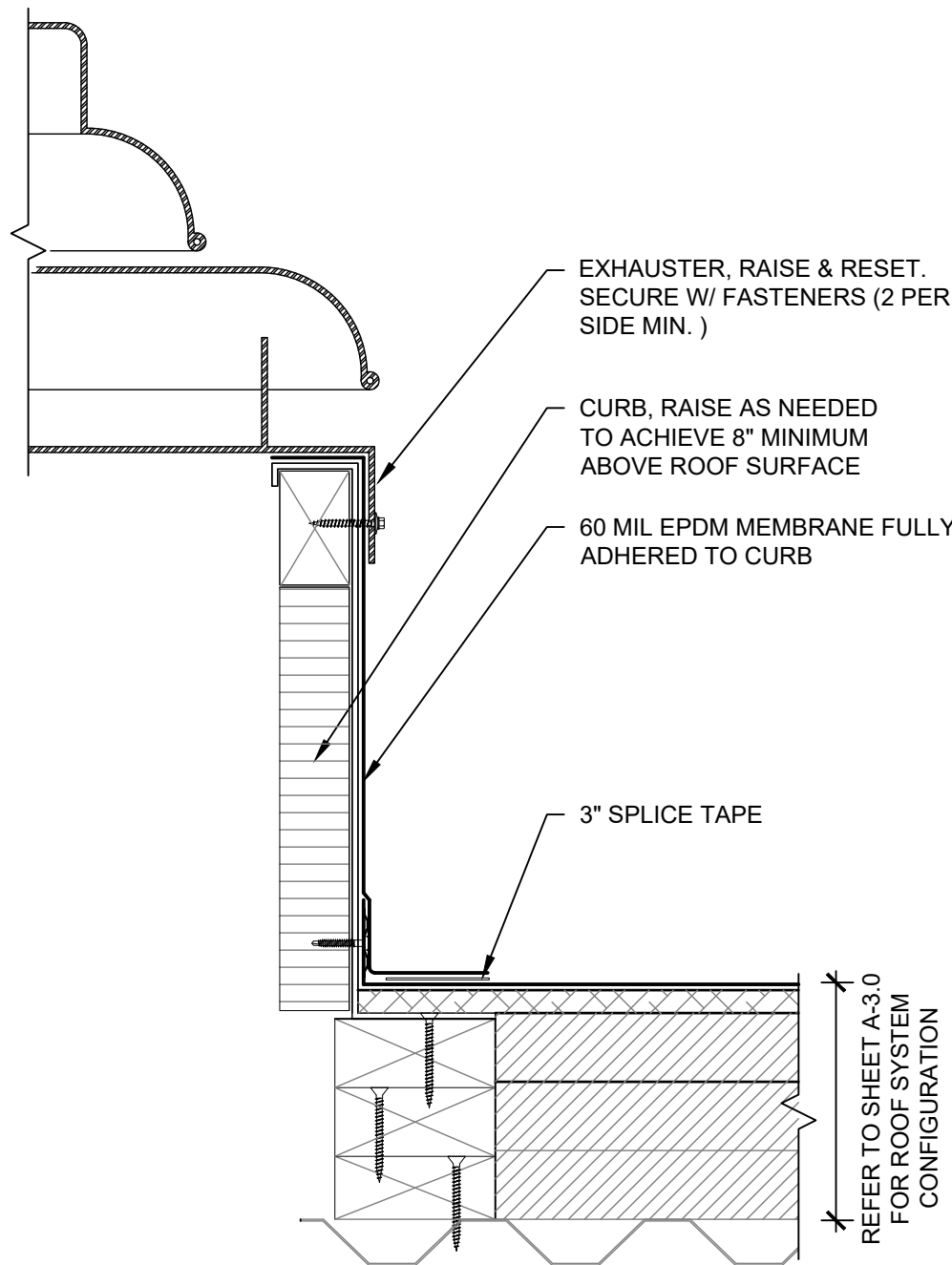
6 Pipe 2
SCALE: 3" = 1'-0"



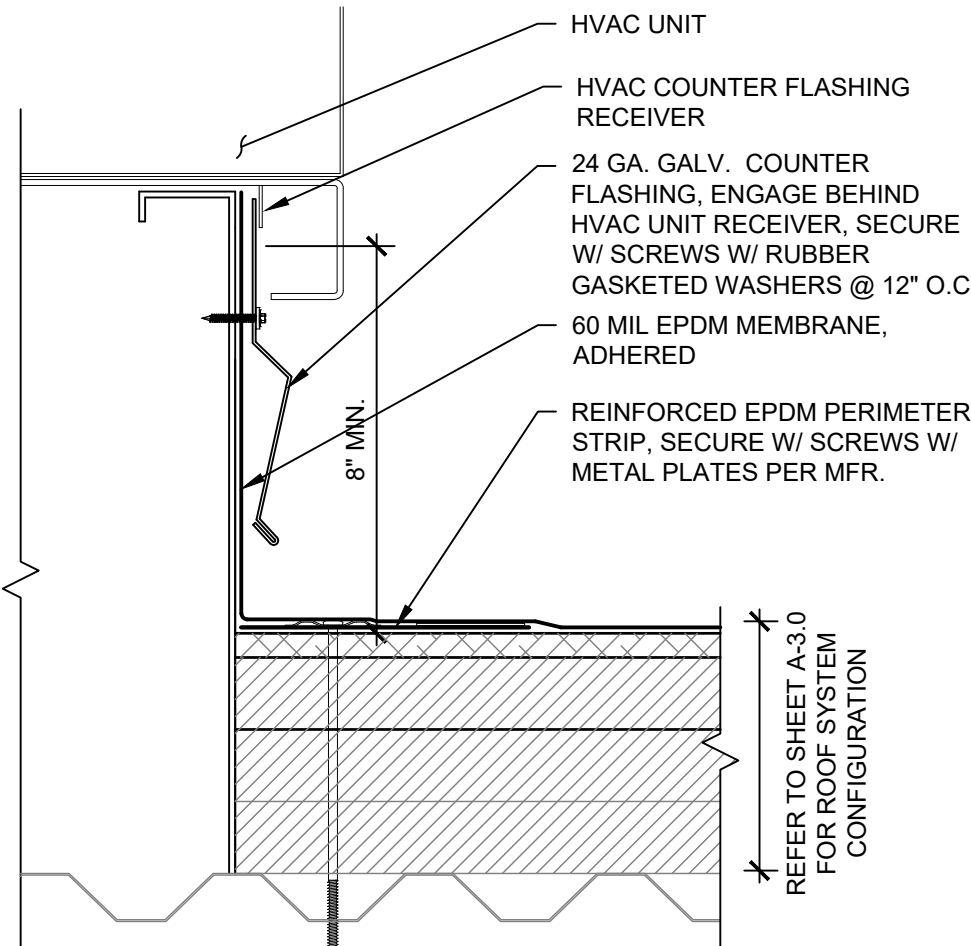
7 Flue Pipe
SCALE: 3" = 1'-0"



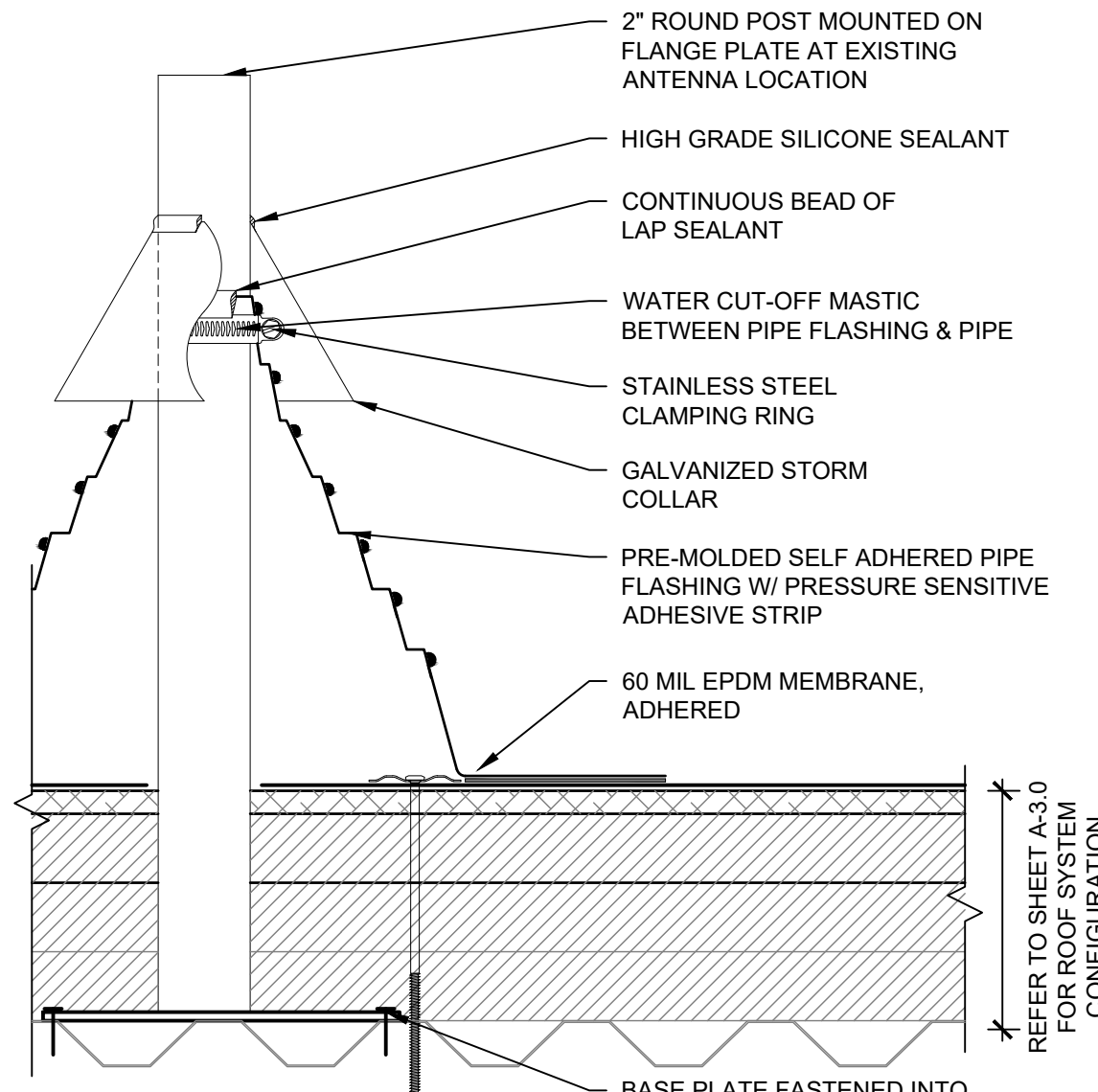
8 Sealant Pocket
SCALE: 3" = 1'-0"



9 Exhaust Vent
SCALE: 3" = 1'-0"



10 RTU Curb
SCALE: 3" = 1'-0"



11 Antenna / Camera Support Post
SCALE: 3" = 1'-0"

Consultants

Project

Will County Adult Detention
Facility - Roofing Replacement
95 South Chicago Street
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2	09/18/2023	Addendum 2
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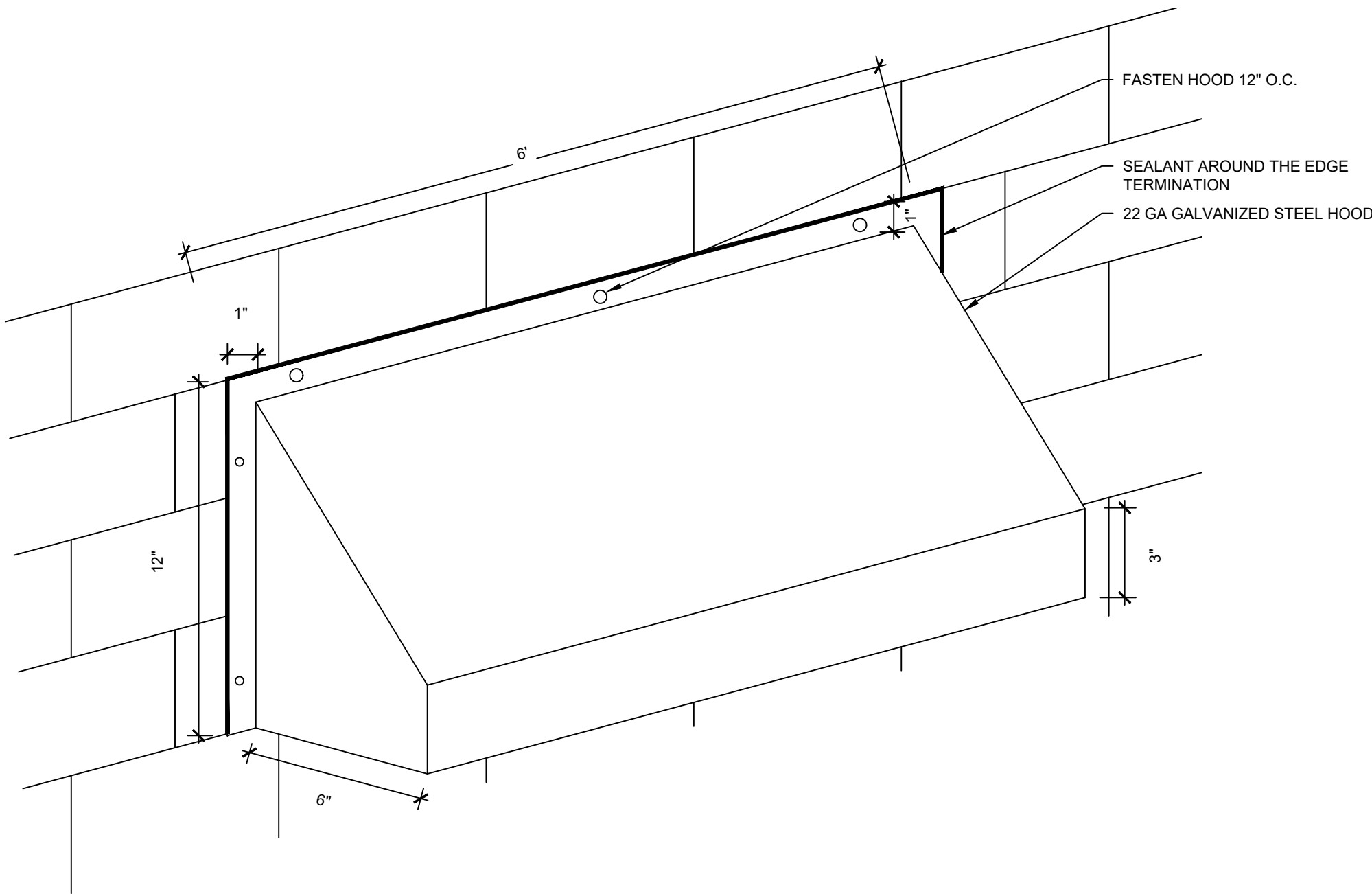
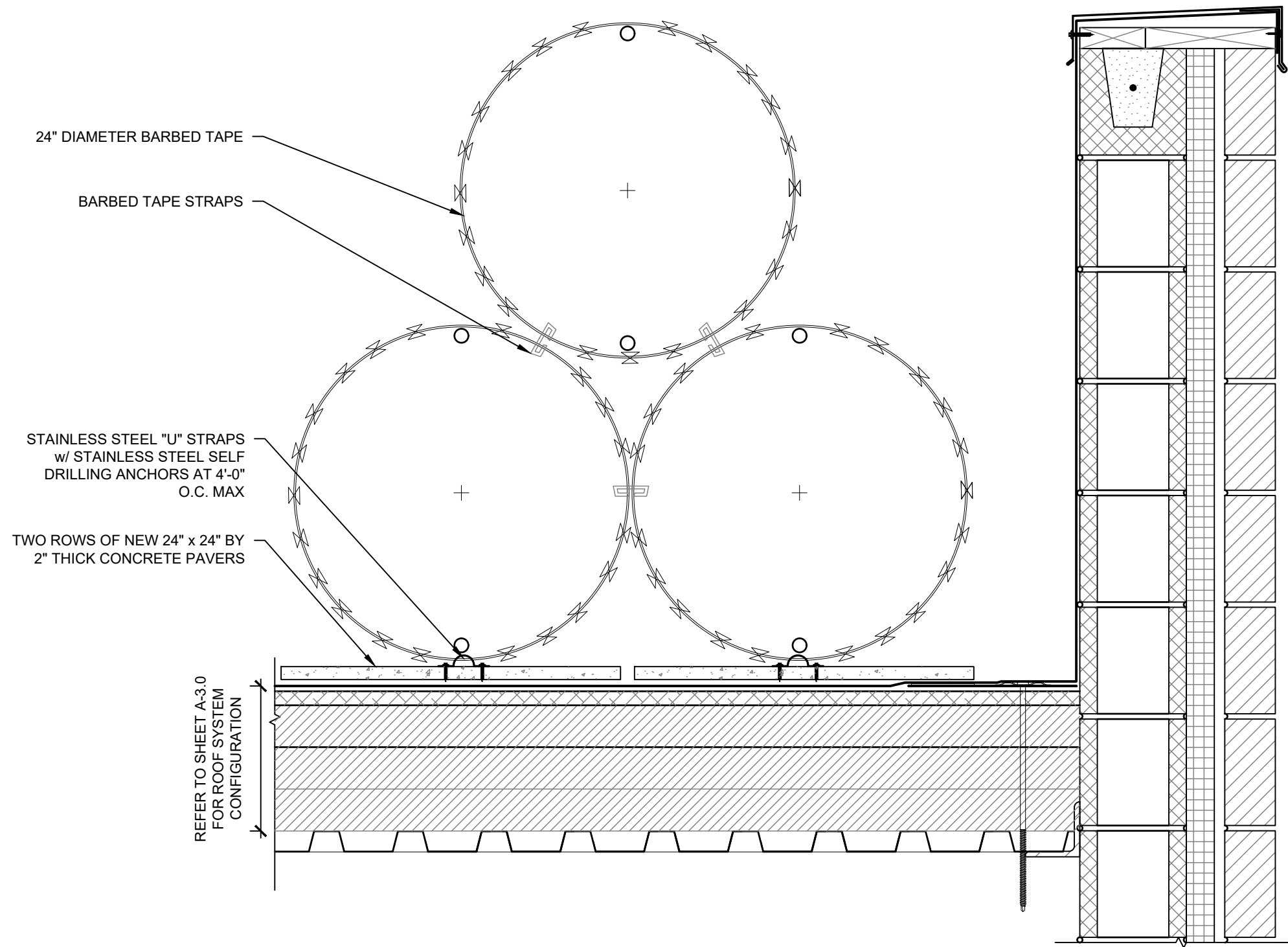
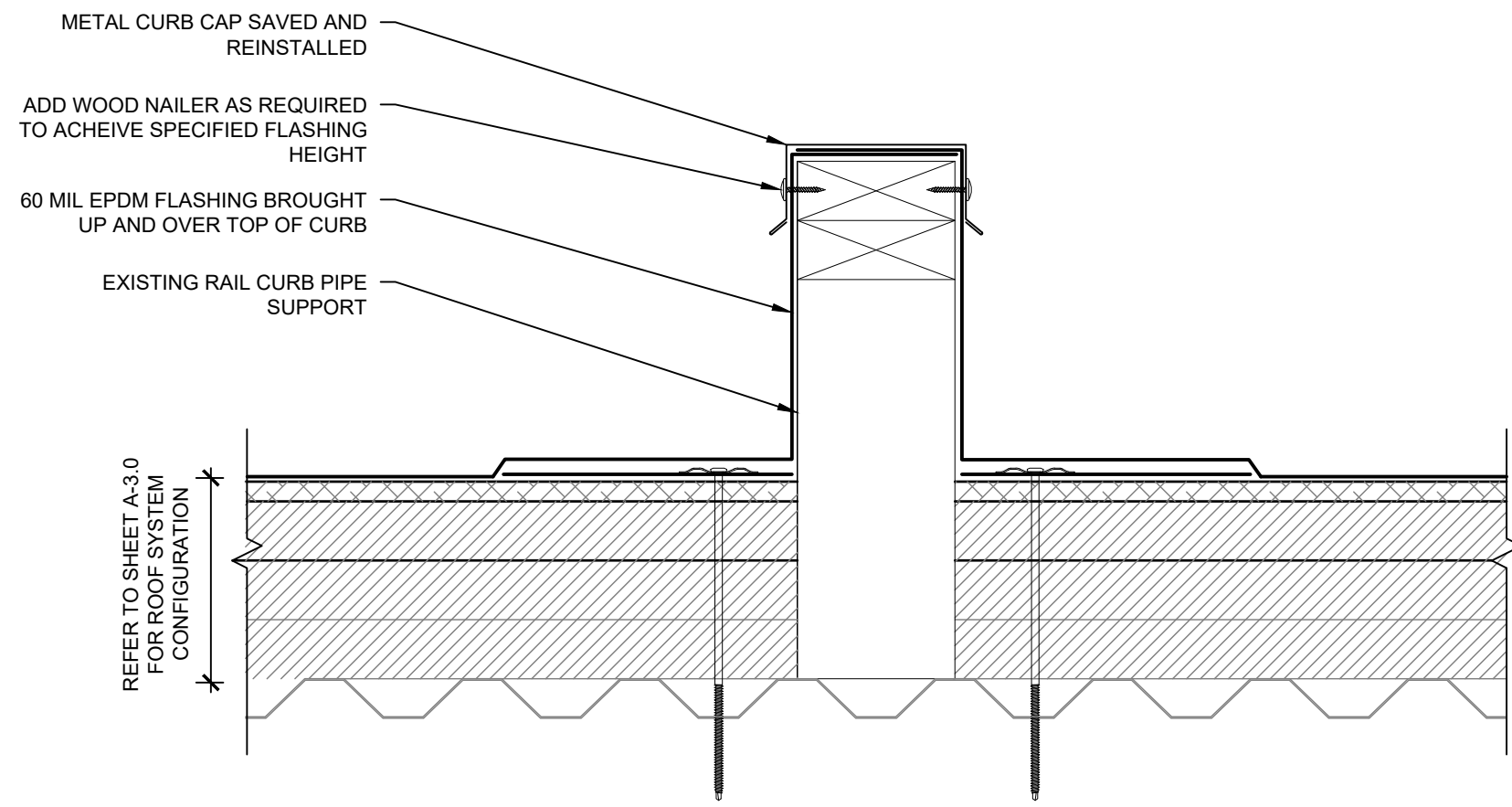
Scale As Noted

Roofing Details

Sheet Title

Sheet No.

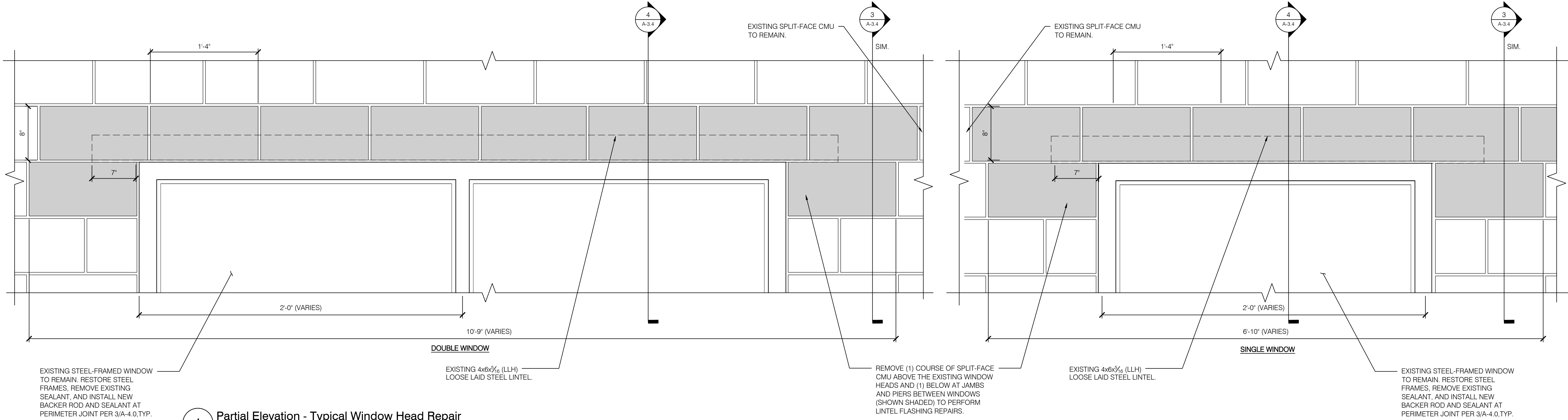
A-3.3



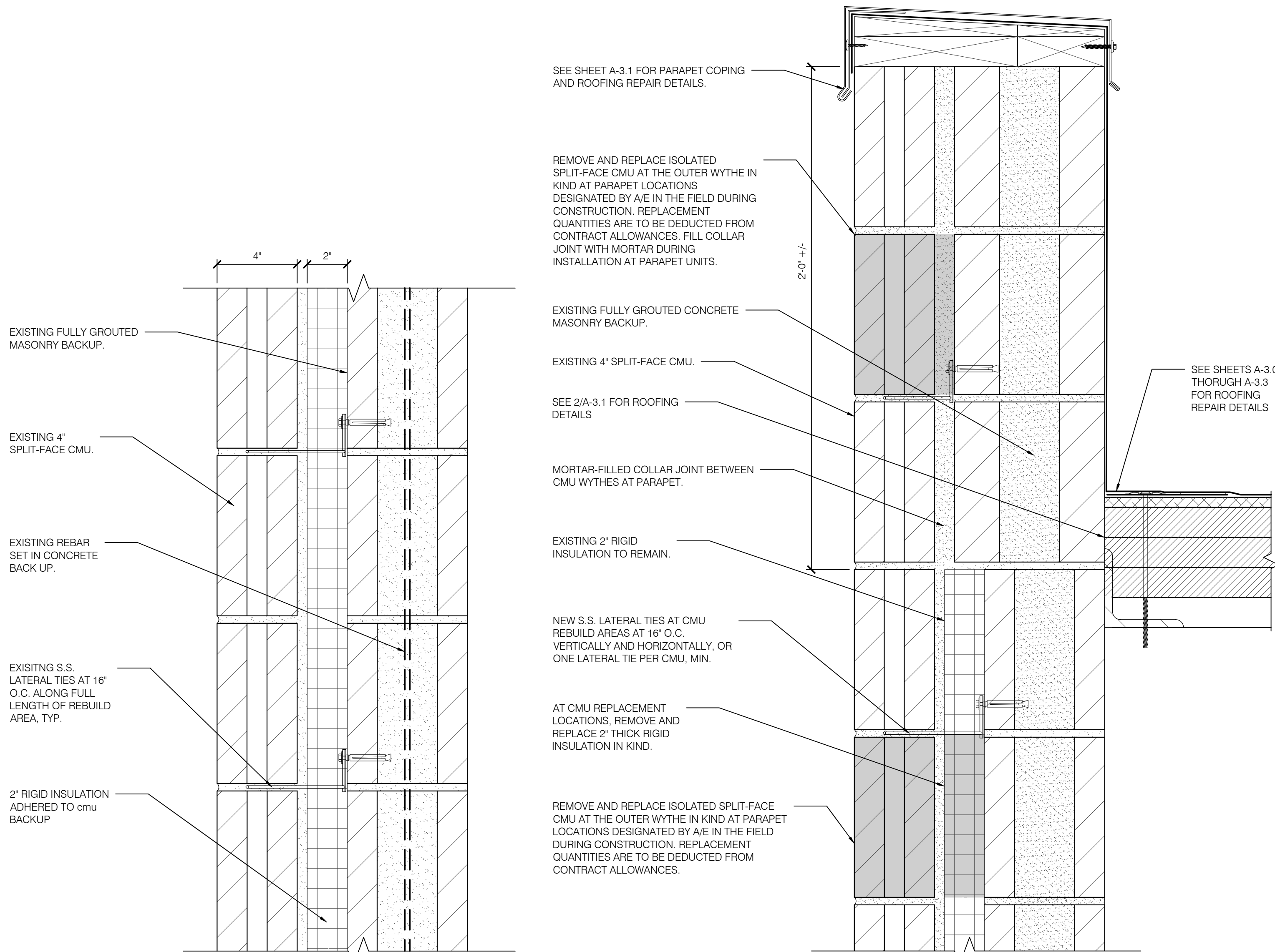
2 Barbed Tape Detail
SCALE: 1 1/2" = 1'-0"

1 Support Curb at Piping
SCALE: 3" = 1'-0"

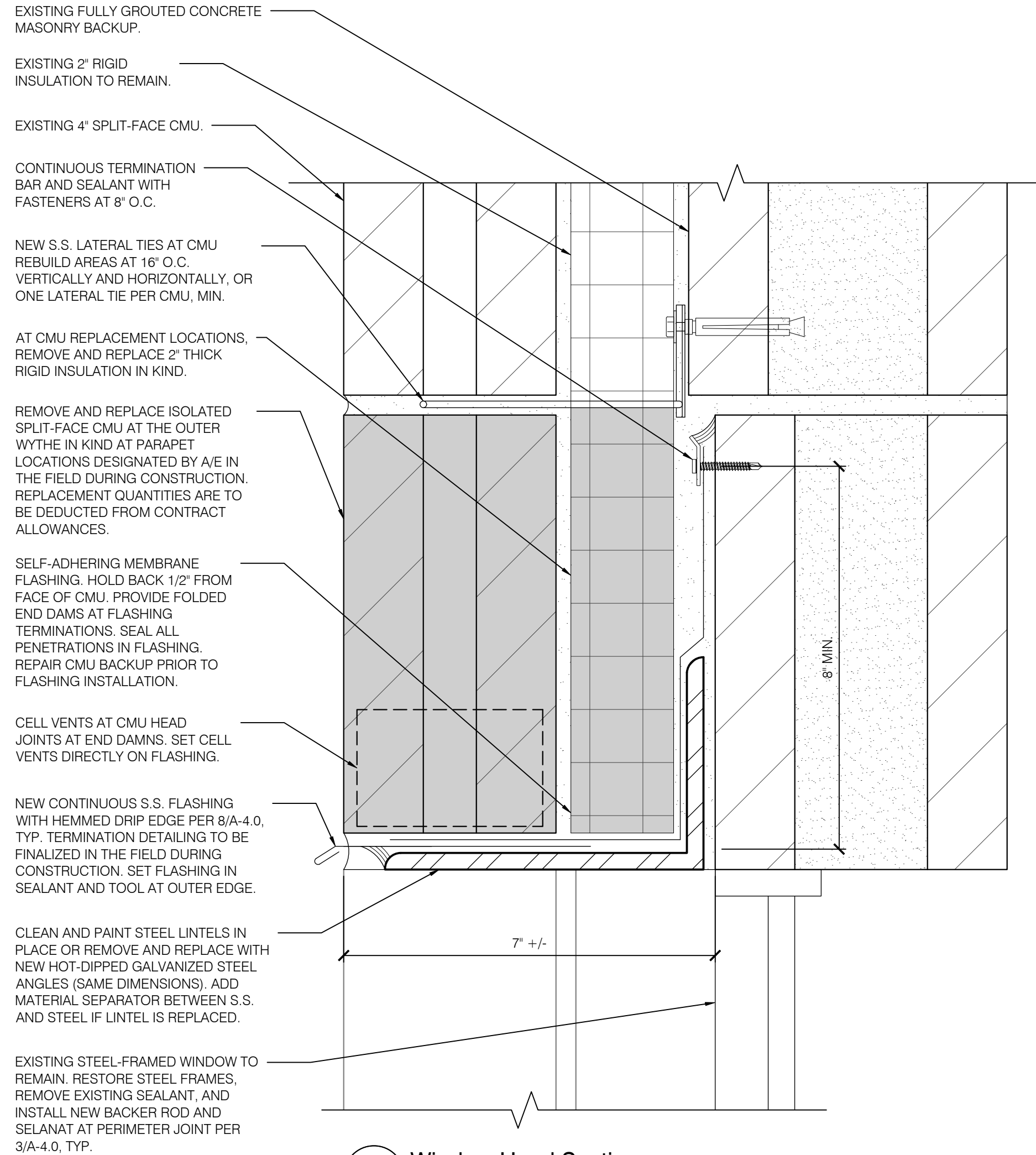
3 Rain Hood at Piping
SCALE: 3" = 1'-0"



1 Partial Elevation - Typical Window Head Repair
 Scale: 3" = 1'-0"

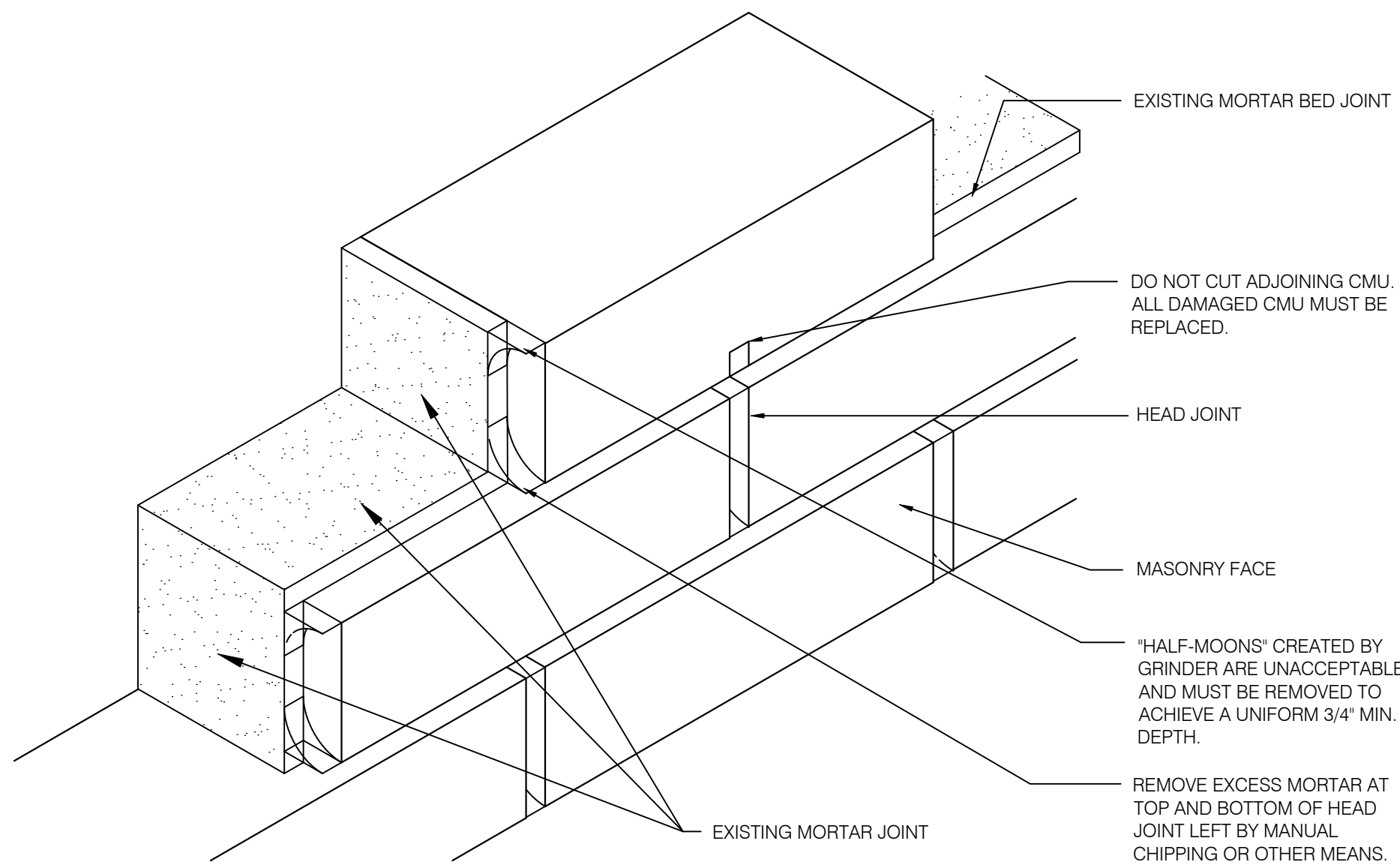


2 Typical Wall Section (As-Built)
 Scale: 3" = 1'-0"

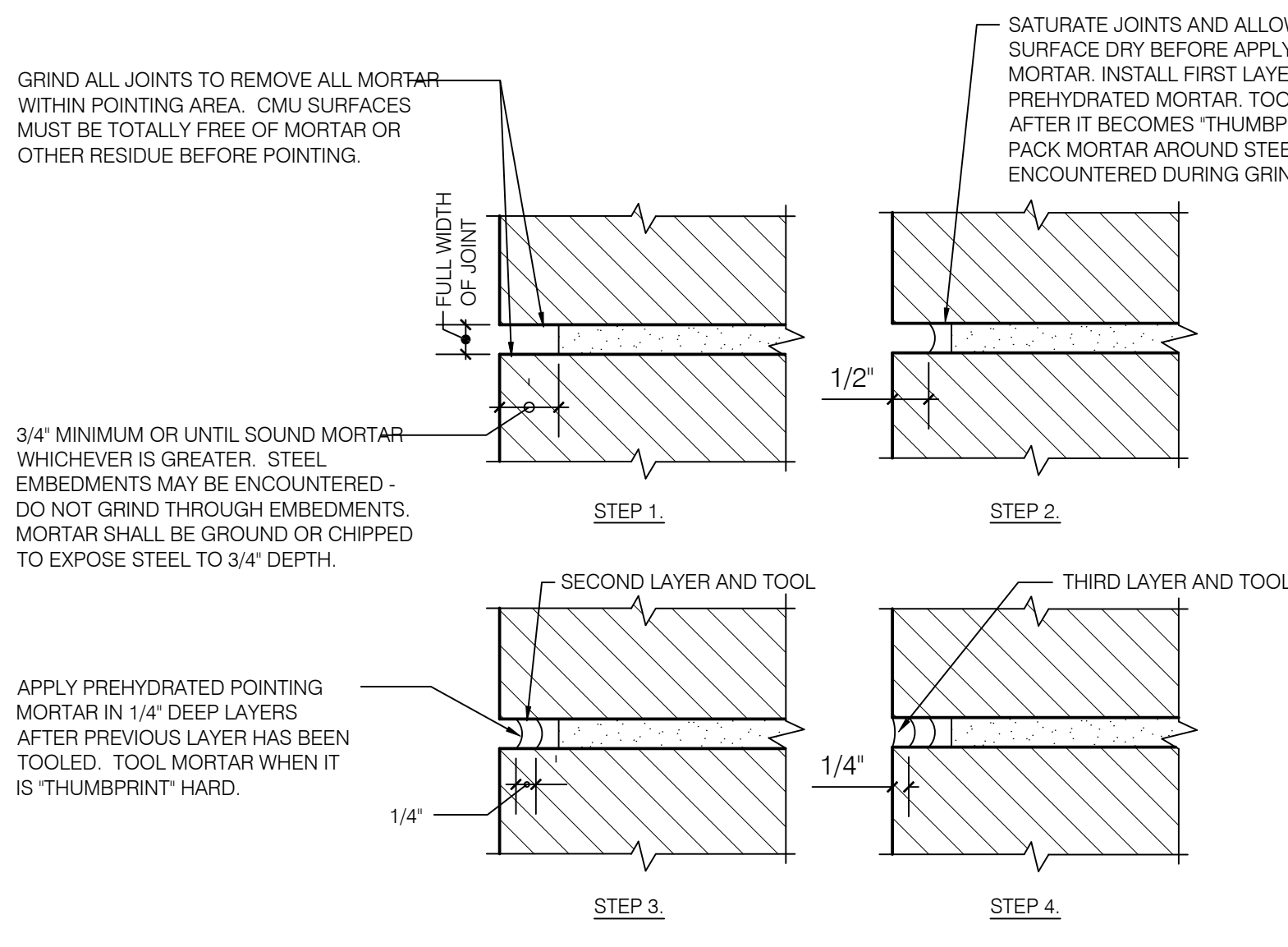


4 Window Head Section
 Scale: 4" = 1'-0"

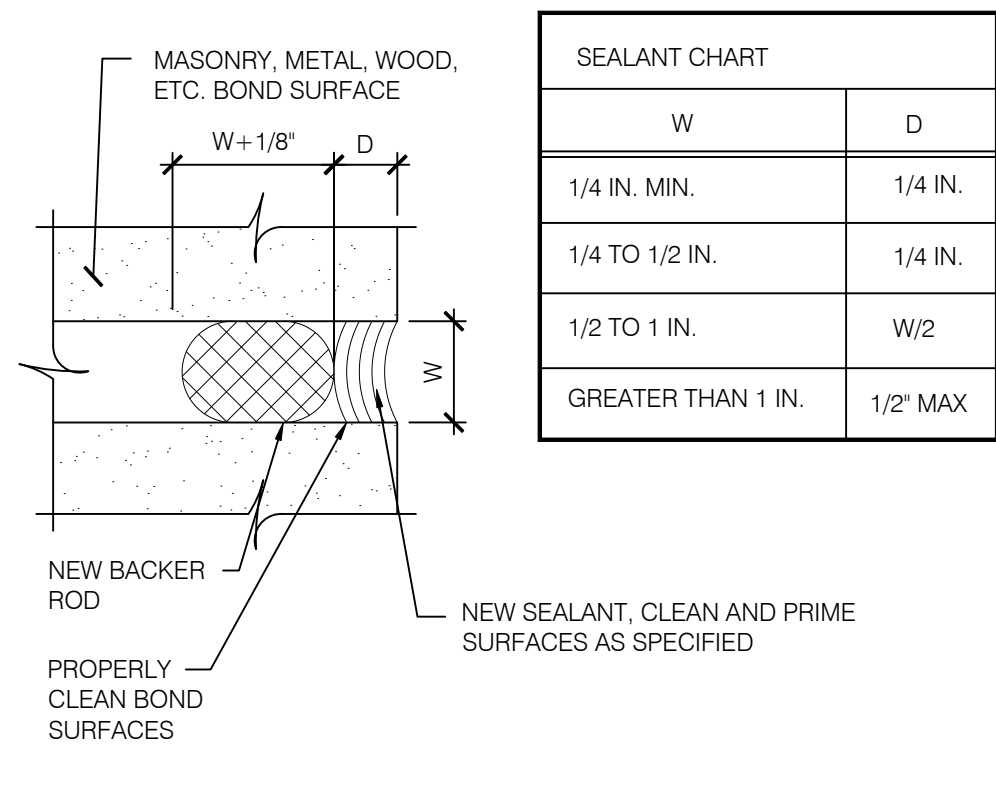
3 Typical Wall Section at Parapet
 Scale: 3" = 1'-0"



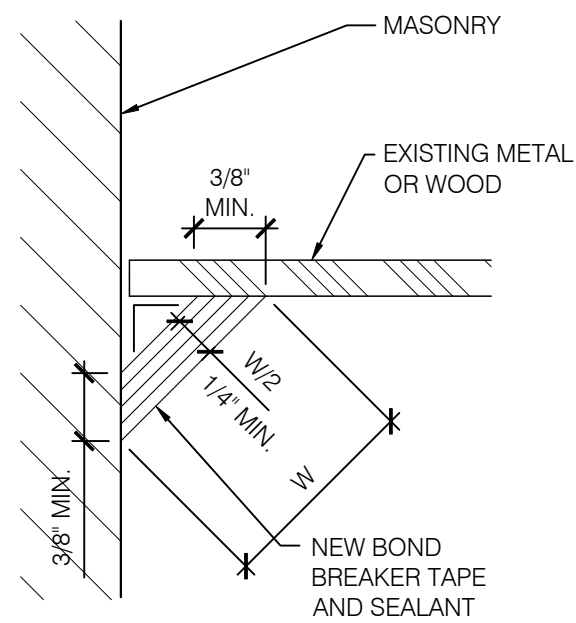
1 Typical Grinding Detail
Scale: Not to Scale



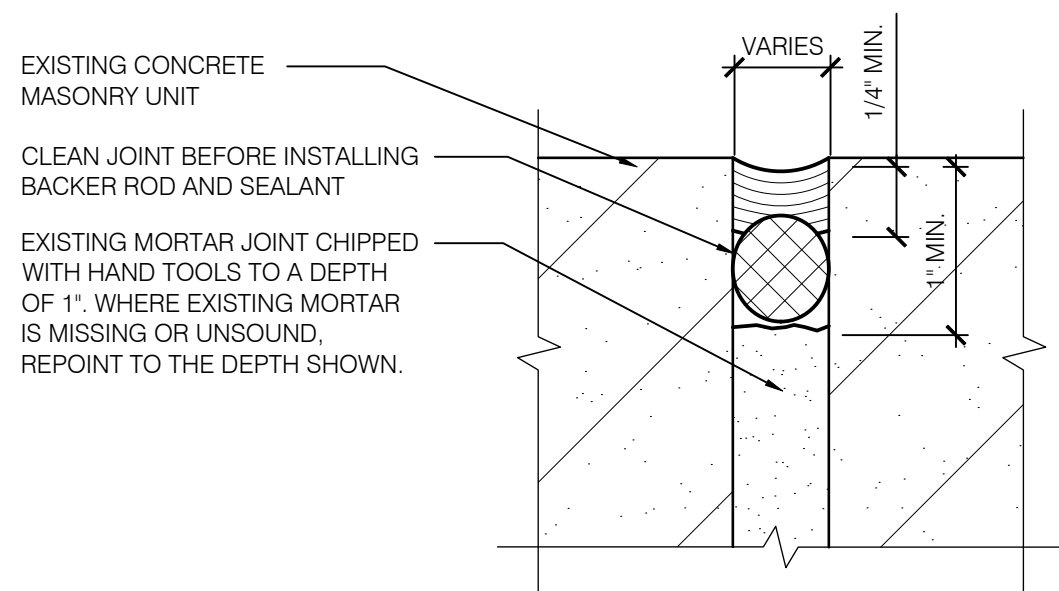
2 Typical Repointing Detail
Scale: Not to Scale



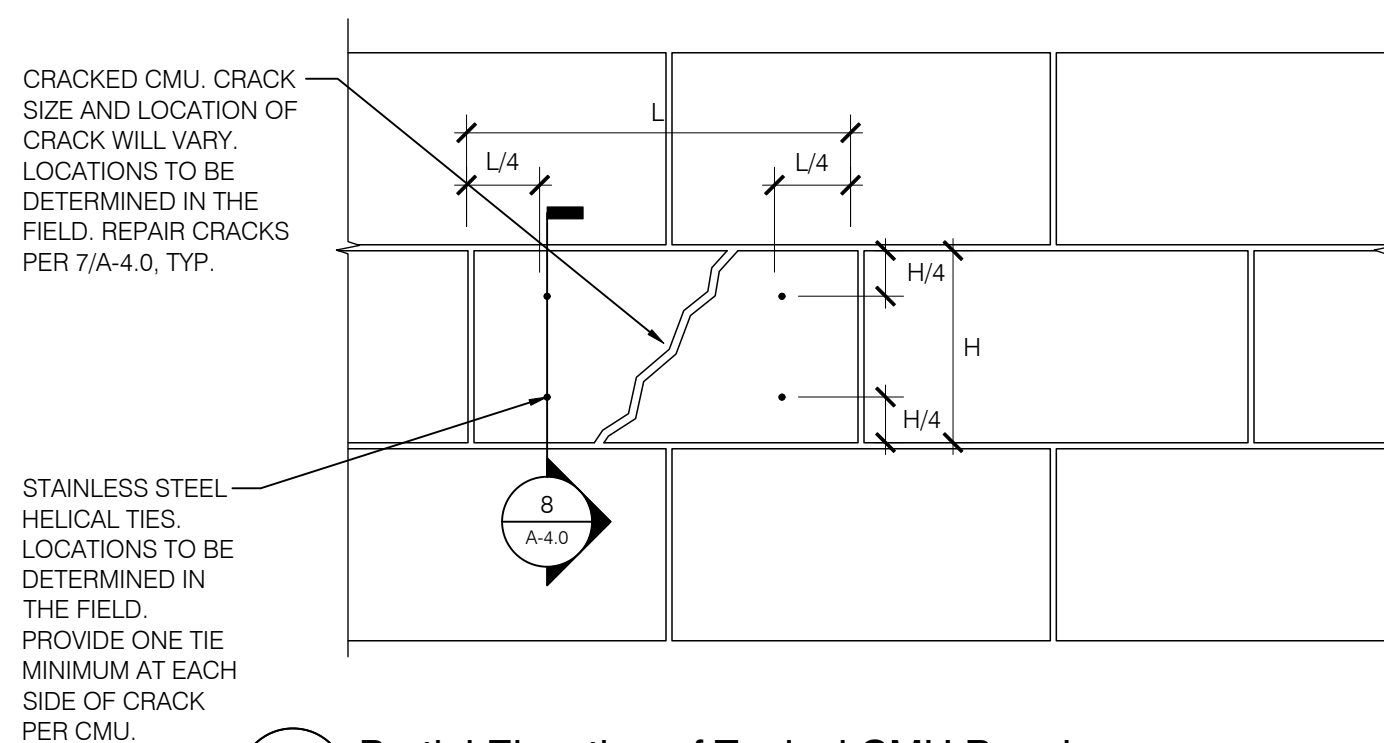
3 Sealant Butt Joint Detail
Scale: Not to Scale



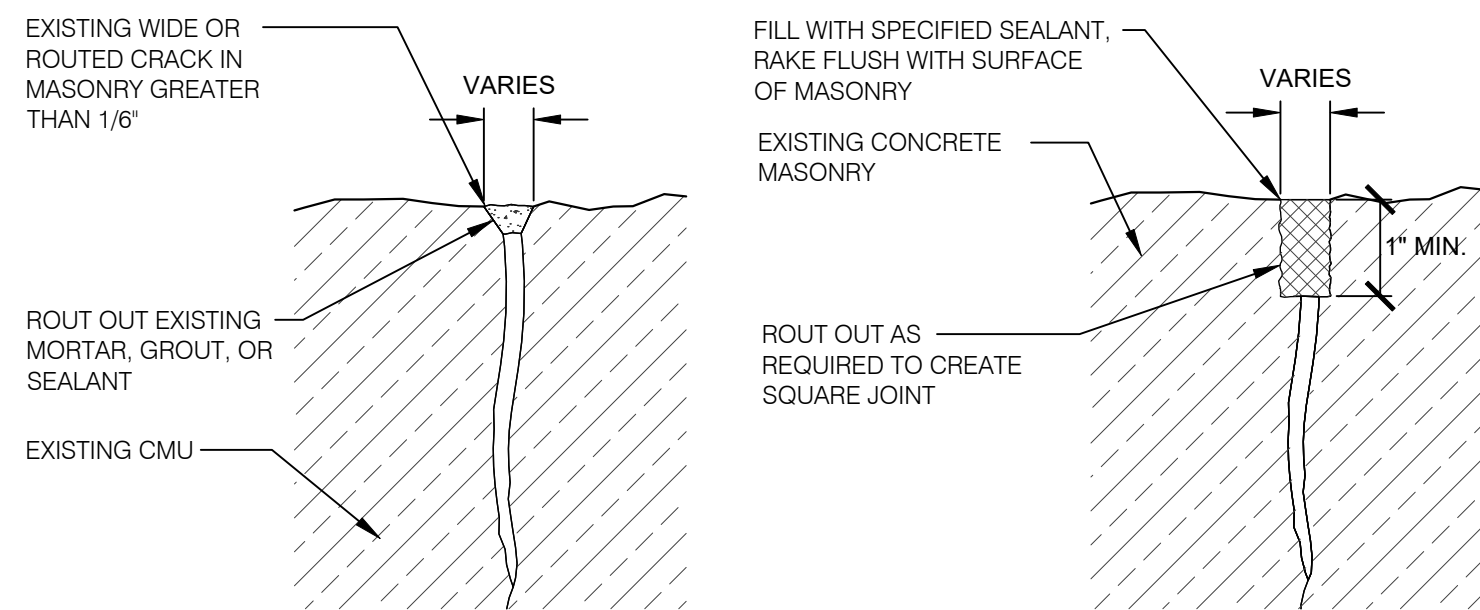
4 Sealant Fillet Joint Detail
Scale: Not to Scale



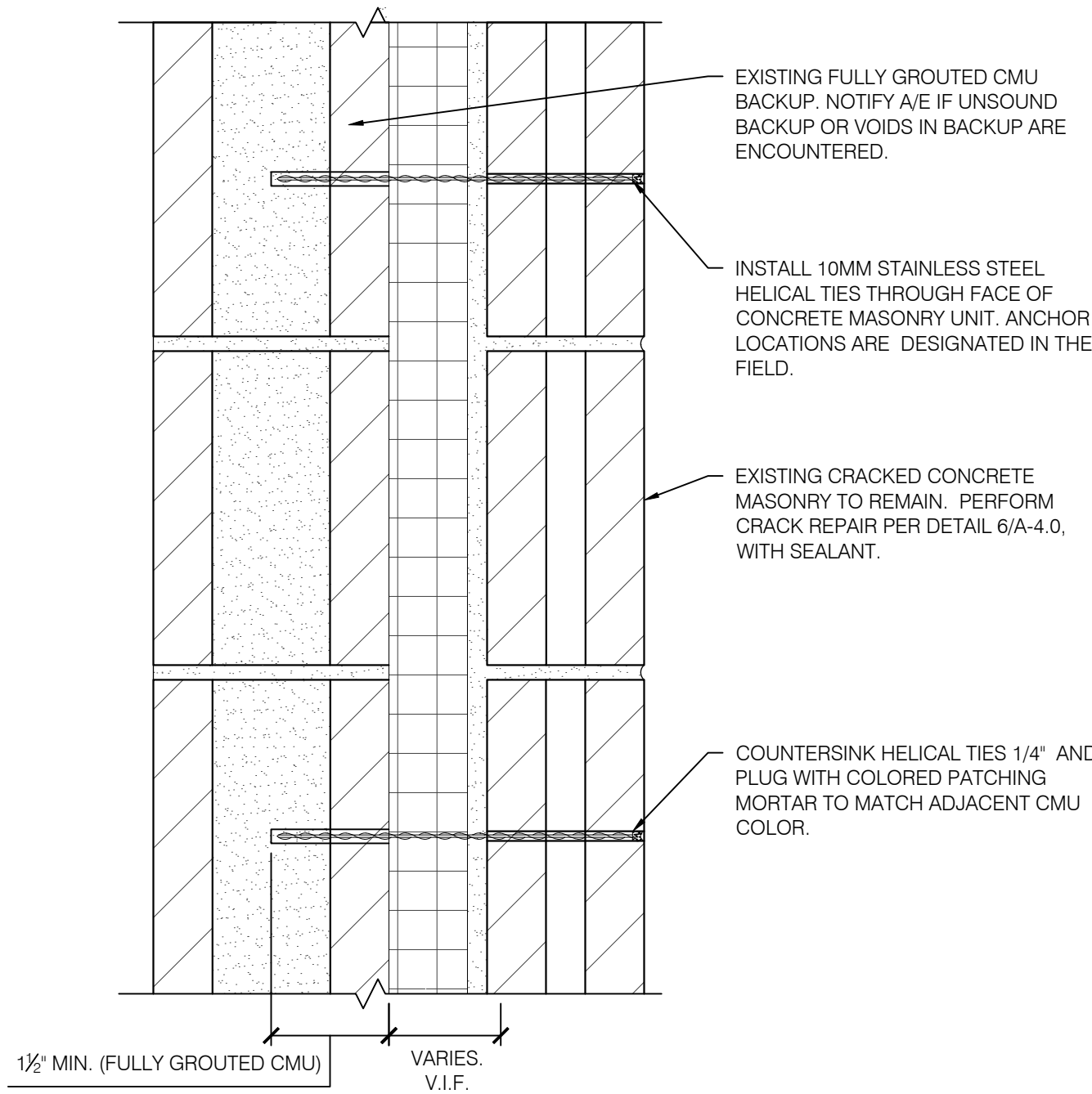
5 Typical Horizontal Sealant Joint Detail
Scale: N.T.S.



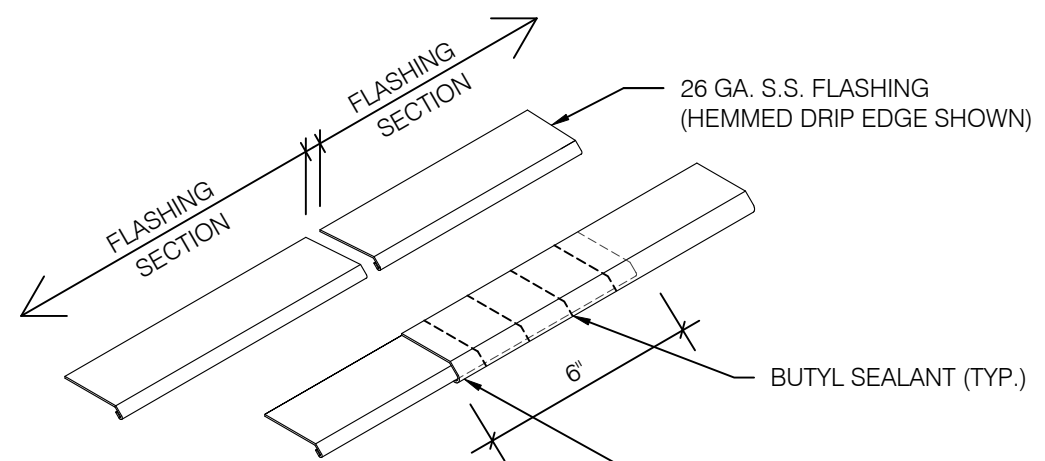
6 Partial Elevation of Typical CMU Repairs
SCALE: N.T.S.



7 Typical CMU Crack Repair Detail
Scale: N.T.S.

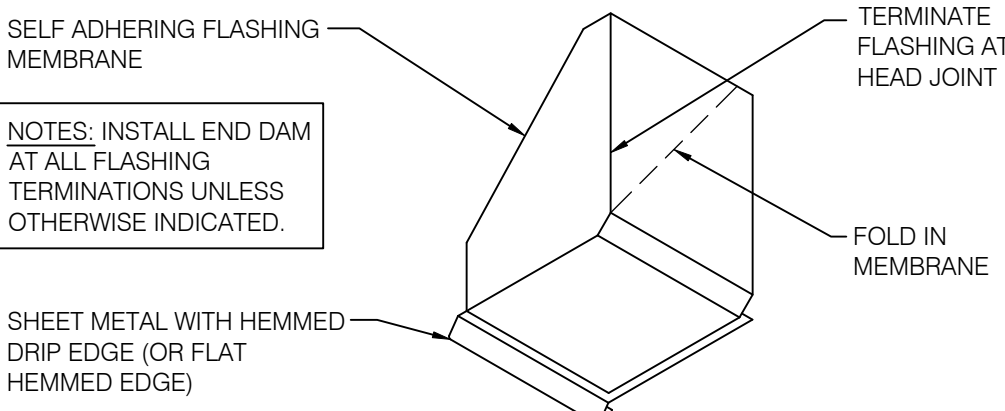


8 Typical Helical Anchor Repair
Scale: 3\"/>



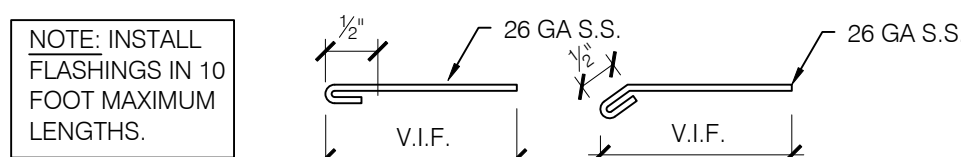
NOTE: LAPS IN MEMBRANE FLASHING ARE TO BE 12\"/>

TYPICAL FLASHING SPLICE DETAIL



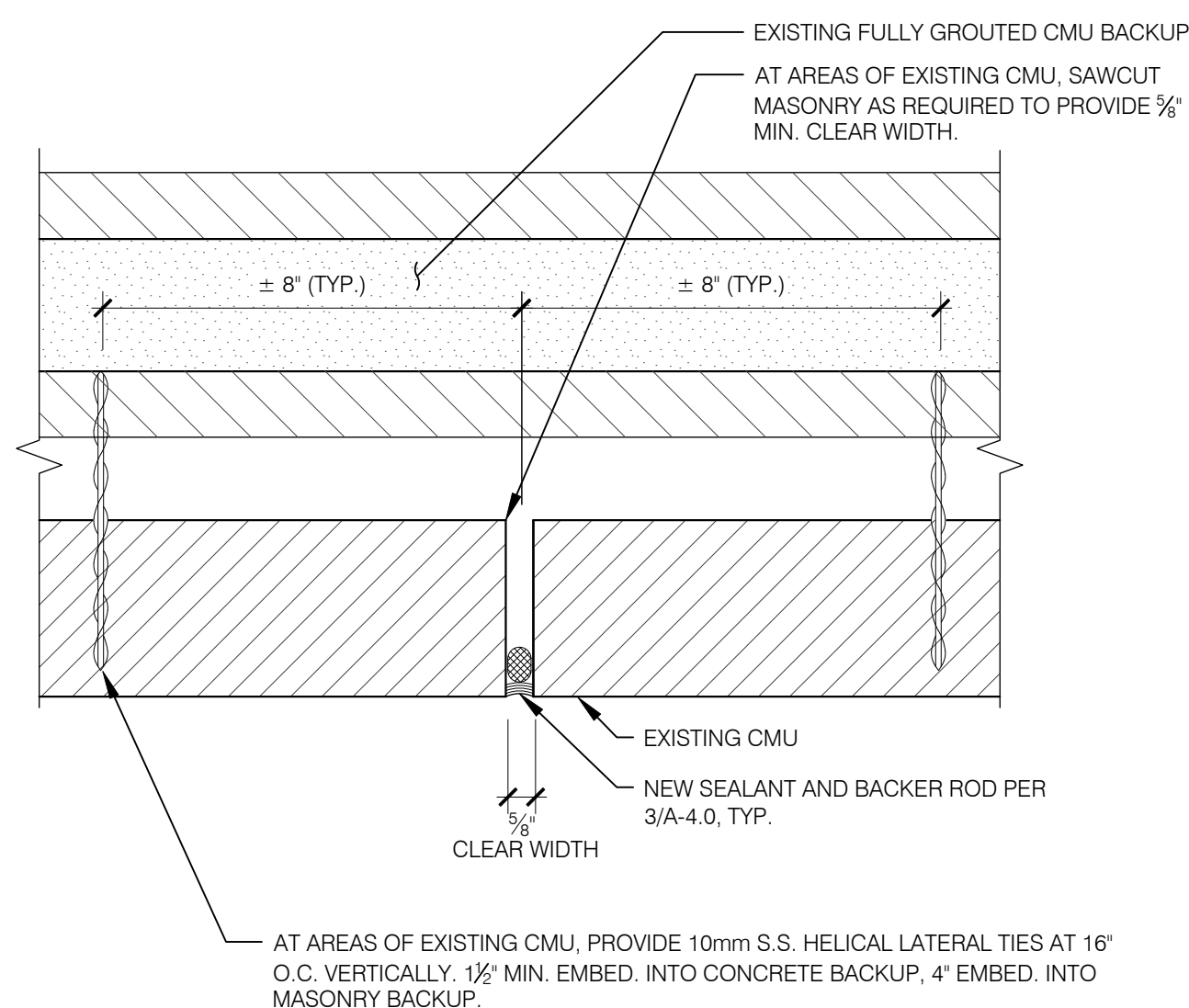
NOTES: INSTALL END DAM AT ALL FLASHING TERMINATIONS UNLESS OTHERWISE INDICATED.

FLASHING/END DAM INTERFACE DETAIL



FLASHING PROFILES

9 Typical Flashing/End Dam Details
Not to Scale



10 Typical New CMU Control Joint Detail
SCALE: 3\"/>